





1

## Design Review Board Study Session

**TO:** DESIGN REVIEW BOARD 

**FROM:** AMY TEMES, SENIOR PLANNER  
(480) 503-6729, AMY.TEMES@GILBERTAZ.GOV

**THROUGH:** CATHERINE LORBEER, AICP, PRINCIPAL PLANNER   
(480) 503-6016, CATHERINE.LORBEER@GILBERTAZ.GOV

**MEETING DATE:** JULY 10, 2014

**SUBJECT:** DR14-20, SENNA AT SANTAN VILLAGE

**STRATEGIC INITIATIVE:** Community Livability

To allow for a condominium project within the Crossroads PAD/SanTan Mall mixed use development.

### **REQUEST**

DR14-20, Senna at SanTan Village: site plan, landscape, grading and drainage, elevations, floor plans, lighting, colors and materials for approximately 208 condominium units on 16.4 acres located west of the southwest corner of Santan Boulevard and Ray Road zoned Regional Commercial (RC).

### **RECOMMENDED MOTION**

Request for input only. No motion required.

## **APPLICANT/OWNER**

LWI Advisory Group  
John Luedtke  
1155 Camino Del Mar #540  
Del Mar, Ca 92014  
858-750-8943  
jluedtke@lwiadvisorygroup.com

## **BACKGROUND/DISCUSSION**

### **History**

Date	Action
<i>January 5, 1999</i>	Town Council approved Z98-27, Crossroads Center, by adopting Ordinance No. 1142, rezoning approximately 523 acres from Maricopa County R-43 to General Commercial (C-2) with a Planned Area Development (PAD) under the, now expired, Unified Land Development Code (ULDC).
<i>November 16, 1999</i>	Town Council approved a PAD amendment to Crossroads Center (Z99-41) by adopting Ordinance No. 1230, which added 63 acres to the development and added specific development conditions.
<i>June 12, 2003</i>	Design Review Board approved DR02-24, the site plan for the Phase I of Santan Village Marketplace, which included a WalMart and Sam's Club.
<i>March 3, 2005</i>	Town Council adopted the Land Development Code by approving Ordinance No. 1625. With the adoption of the LDC, the site was zoned Regional Commercial (RC) with Planned Area Development (PAD) Overlay.
<i>December 15, 2005</i>	Design Review Board approved the design guidelines for Santan Village Regional Shopping Center (RSC) (DR05-86).
<i>December 15, 2005</i>	Design Review Board approved the Preliminary Design Review (DR05-87) for Phase II of Santan Village RSC.
<i>February 16, 2006</i>	Design Review Board approved the final site plan, landscaping, grading and drainage, building elevations, and lighting for Phase II of the Santan Village RSC (DR05-122).
<i>December 12, 2008</i>	Town Council approved the removal of Parcel D from the Crossroads PAD, changing it to conventional Regional Commercial (RC) zoning in Ordinance No. 2209.
<i>August 1, 2012</i>	Planning Commission approved UP12-07, a request to permit a multi-family mixed use development in the Regional Commercial (RC) zoning district.
<i>April 11, 2013</i>	Design Review Board approved the DR12-14 the Crossroad Apartments at San Tan Village.
<i>July 2, 2014</i>	Planning Commission Study Session for UP14-04 Multi-Family in a Regional Commercial mixed use development.

## Overview

Multi-Family Residential is permitted within the Regional Commercial zoning district as part of an integrated, mixed use plan with a Conditional Use Permit. Senna at SanTan Village is designed as a 208 for-sale condominium complex replacing the previously approved 366-unit Crossroads at San Tan Village Apartments. Even though the land is no longer within the Crossroads PAD, the project's architecture, landscaping, signage, and common area maintenance are integrated with the surrounding PAD via the SanTan Master Sign Program, SanTan Parcel Development guidelines, and the SanTan Property Owner's Association CC&Rs. Parcels C and D are also tied into the overall Crossroads Development under a Planning / Development Agreement with the Town of Gilbert approved December of 2012. To further reinforce the mixed use component and design of the original Crossroads PAD boundary, the owner/developer agreed to stipulate that the 17 acres of land directly east of the subject property (east half of Parcel D) would not be developed as multi-family and would be developed in a manner that creates horizontal integration between residential and commercial uses. The development agreement essentially reconnects the original land parcels of the PAD, reinstates the PAD design concept and the integrated mixed use character of the development within the Crossroads PAD original boundary.

## Surrounding Land Use & Zoning Designations:

	Existing Land Use Classification	Existing Zoning
North	Residential > 0-1 DU/Acre and Community Commercial	Ray Road then Single Family – 43 and Community Commercial
South	Regional Commercial	Regional Commercial
East	Regional Commercial	Regional Commercial
West	Residential > 5-8 DU/Acre and Neighborhood Commercial	Coronado Road then Single Family – 6 and Neighborhood Commercial
Site	Regional Commercial	Regional Commercial

Development Standards	LDC	Provided
Maximum Height	55'	
Building Stepback within 100' of Residential	Yes if building height is over 2 story/35'	No building exceeds 2 story/35' no stepback required
Building Setback Front	25'	25' to Coronado Road
Building Setback Side to Street	20'	20' from Ray Road
Building Setback Side to Nonresidential	20'	20' within Ivanhoe
Building Setback Rear	20'	20' within Columbus
Separation Between Buildings	20'	20'
Landscape Front	25'	25' to Coronado Road
Landscape Side to Street	20'	20' from Ray Road
Landscape Side to Nonresidential	20'	20' within Ivanhoe

Landscape Rear to Non-Residential	20'	20' within Columbus
Landscape %	15%	>15%
Parking for 208 Units	416 Unit Spaces 52 Visitor Spaces 468 Total Parking Spaces	506 Parking Spaces

## **DISCUSSION AND REQUESTED INPUT**

### **Site**

The proposed project is situated between Coronado Road to the West, a proposed extension of Columbus to the East (private drive), West Ivanhoe Street to the South (private drive), and Ray Road to the North. The project design creates significant pedestrian connectivity with the surrounding properties. The project is designed without fencing, enabling convenient pedestrian access to the front door of each unit from the street. Furthermore the project contains several features to encourage pedestrian access, including pedestrian scale architecture, a street plaza, street trees and furniture, parallel on-street parking, and pedestrian scale lighting.

The primary entrance to each phase of the project is from Coronado Road. The entrances are intended to be inviting in design, with entry monuments, tree-lined driveways, lush landscaping, and decorative paving accents. A secondary entrance for both phases is also provided along Columbus Road (private drive). Each phase will have its own primary entrance and common area amenities, including a pool, outdoor ramada, and tot lot. The project will contain 506 parking spaces including a 2-car direct access garage for every unit and 81 additional guest spaces.

- Staff would like input on the overall layout and site design.

### **Landscape**

Staff recognizes the applicant has worked hard to create a lush landscaped environment. However, staff is concerned about the lack of sidewalk connectivity internal to the site. Staff realizes that additional sidewalk connection would require the applicant to remove some trees from the design and add shrubs instead.

- Staff would like Board input on whether sidewalk connectivity is more essential than shady tree lined private drives.

### **Elevations /Floor Plans**

The project will consist of twenty 2-story buildings. There will be 2 building types each designed to provide significant light and cross ventilation into units. The motor courts in each building type have a minimum 30' dimension allowing comfortable vehicular movement. There will be a mix of 6 contemporary open floor plans, each with either 2 or 3 bedrooms ranging in size from 1,277 sf to 1,619 sf. All floor plans will have access from both a front door along a landscaped pedestrian path and 2-car direct access garage. Many of the plans have balconies or patios with minimal depth. Regional Commercial has no standards for outdoor private space as compared with the Multi-Family zoning category. However, staff is of the opinion that if private outdoor space is provided, it should be usable.



Staff recommends that if architectural detail is minimal then the materials should be high-end. Staff also recommends that the color with Option 2 might have more contrast and compatibility with the stone from Option 1 and visa-versa.

- Staff would like Board input regarding the general building architectural style, massing and vertical movement.
- Staff would like Board input regarding the size of the patios and balconies. Staff is of the opinion that the depth of only 3' – 5' in some locations is not acceptable outdoor space.
- Staff would like Board input regarding the quality of the materials
- Staff would like Board input regarding the color palette.

### **Signage**

The SanTan Village Master Sign Program encompasses this site and was updated per the previous approval for apartments. A Minor Administrative Design review will be required to amend the MSP to reflect the signage for this project.

Respectfully submitted,



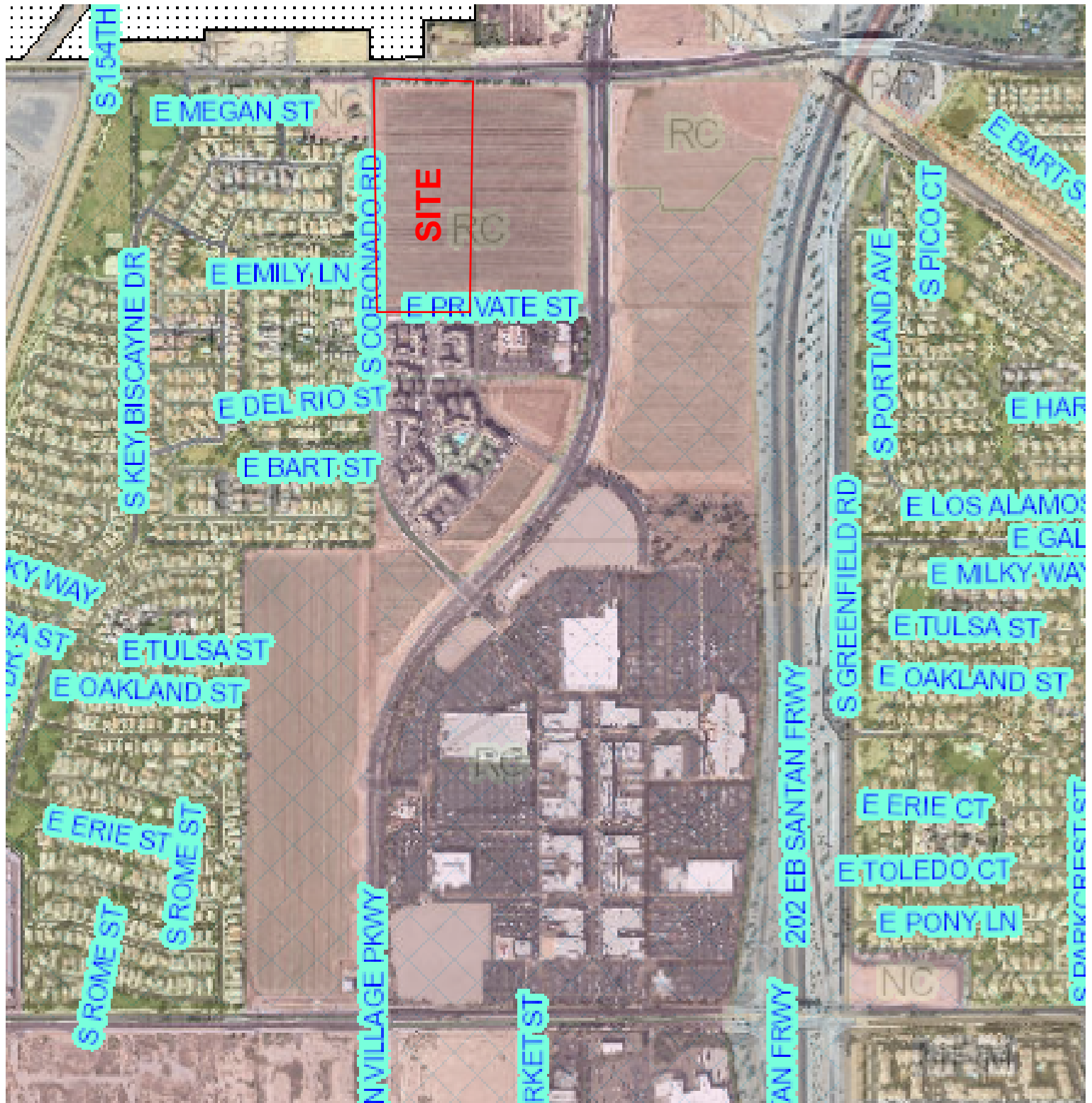
Amy Temes  
Senior Planner

### **Attachments and Enclosures:**

1. Vicinity Map
2. Aerial Photo
3. Site Plan
4. Landscape
5. Elevations/Floor Plans/Colors and Materials

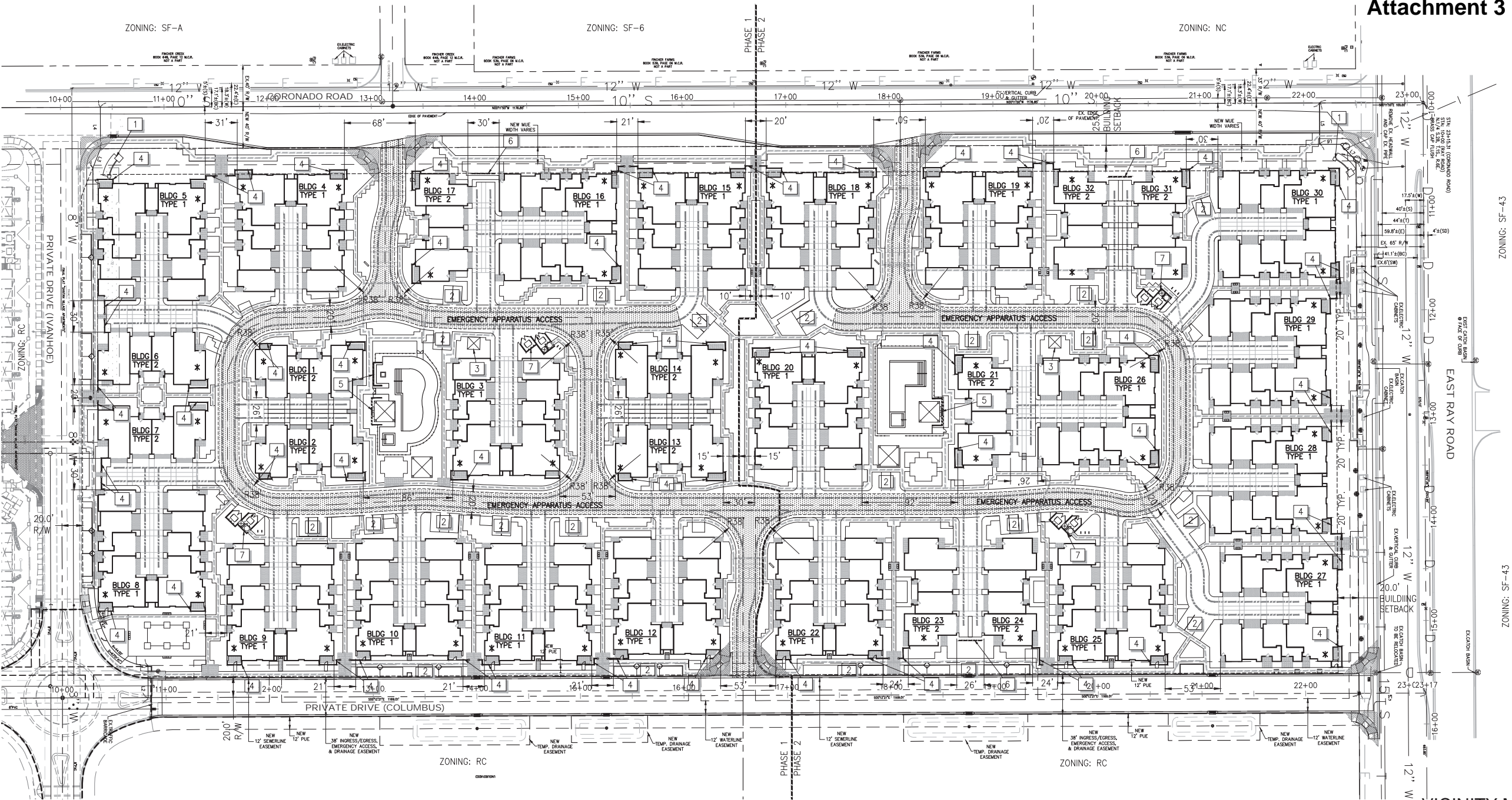
Gilbert  
Ord # 395  
10/18/1984

DR14-20: Senna at SanTan Village  
Attachment 2 - Aerial Photo





DR14-20: Senna at SanTan Village  
Attachment 3 - Site Plan



SITE PLAN NOTES

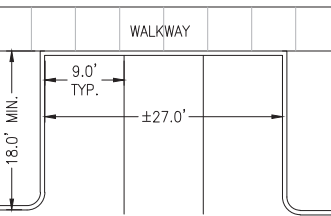
- 1 SIGN MONUMENT SEE DETAIL 1 ON SHEET L5.0
- 2 GUEST PARKING, SEE DETAIL ON THIS SHEET
- 3 MAILBOX LOCATION, SEE DETAIL 6 ON SHEET L5.0
- 4 3' HIGH LOW WALL
- 5 6' HIGH WALL
- 6 6' HIGH SCREEN WALL
- 7 REFUSE ENCLOSURE

CIRCULATION LEGEND

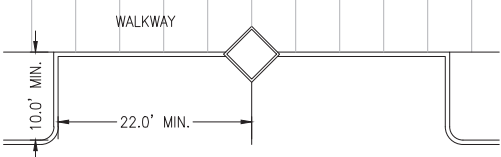
- VEHICULAR CIRCULATION
- PEDESTRIAN CIRCULATION
- EMERGENCY APPARATUS ACCESS

GUEST PARKING DIAGRAM

PERPENDICULAR



PARALLEL



PROJECT DATA:

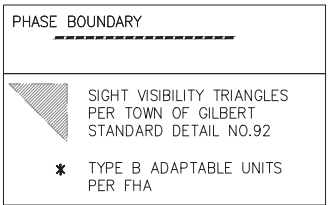
<u>SITE AREA CALCULATIONS:</u>			
NET SITE AREA:	622,065 SQ. FT.	ACRES:	14.28 AC
GROSS SITE AREA:	750,329 SQ. FT.	ACRES:	17.23 AC
<u>LOCAL ZONING LOTS:</u>			
EXISTING ZONING FOR PROJECT SITE:		RC	
*EXISTING ZONING FOR PARCEL(S) TO THE WEST:		NC, SF-6, SF-A	
*EXISTING ZONING FOR PARCEL(S) TO THE EAST:		RC	
*EXISTING ZONING FOR PARCEL(S) TO THE NORTH:		SF-43	
*EXISTING ZONING FOR PARCEL(S) TO THE SOUTH:		RC	
*SEE SITE PLAN FOR PARCEL(S) ZONING			
<u>LOT COVERAGE PERCENT:</u>			
	37.4%		
<u>LANDSCAPE CALCULATIONS:</u>			
TOTAL LANDSCAPE AREA:	151,445 SQ. FT.	ACRES:	3.48 AC
LANDSCAPE COVERAGE:	24.3%		
<u>BUILDING AREA:</u>			
GROSS BUILDING AREA:	465,260 SQ. FT.		
PHASE 1 BUILDING TYPE 1	178,030 SQ. FT.	80 UNITS	
PHASE 1 BUILDING TYPE 2	63,700 SQ. FT.	28 UNITS	
PHASE 2 BUILDING TYPE 1	178,030 SQ. FT.	80 UNITS	
PHASE 2 BUILDING TYPE 2	45,500 SQ. FT.	20 UNITS	
DWELLING UNITS PER AC	12.1 UNITS PER AC		

EQUIPMENT SCREENING

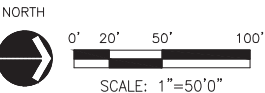
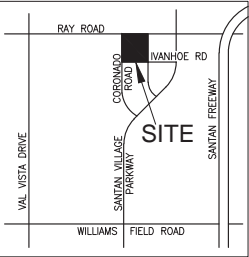
ALL MECHANICAL EQUIPMENT TO BE PLACED ON BUILDING ROOFTOPS AND SCREENED BY PARAPET. MECHANICAL EQUIPMENT FOR STACKED FLAT UNIT IN BUILDING TYPE 1 TO BE PLACED ON GROUND OUTSIDE UNIT AND SCREENED BY A HEDGE SHRUB. ALL ELECTRICAL EQUIPMENT TO BE SCREENED BY HEDGE SHRUB.

PARKING CALCULATIONS:  
REQUIRED PARKING SPACES: 416 PARKING STALLS  
PROVIDED PARKING SPACES: 506 PARKING STALLS

PARKING TO UNIT RATIO: 2.43 PARKING STALLS PER UNIT



VICINITY MAP



51 W. Third Street, Suite 201  
Tempe, AZ 85281  
Phone 480.557.6670  
Fax 480.557.6506

SENNA AT  
SANTAN  
VILLAGE  
Town of Gilbert, AZ

LWI  
PROPERTIES  
2487 S. GILBERT RD.  
STE106-210  
GILBERT, AZ 85295



SITE PLAN

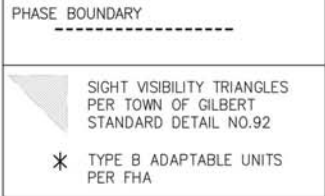
1	MAY 2014	1st Review
Revisions		
#	Date	Description
05/22/2014		
Date		
SG, MS		
Designed By		
AF, BJ, SG, SQ, ZW		
Drawn By		
MS, SG		
Checked By		
17174		
Project Number		
L2.0		
Sheet Number		
Copyright 2014 ©		
If this drawing is less than 24" x 36", it has been reduced. Scale accordingly.		





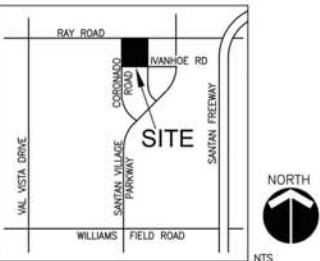
HARDSCAPE KEY NOTES

- | KEY | DESCRIPTION   |
|-----|---|
| 1.  | URBAN PLAZA   |
| 2.  | BENCHES   |
| 3.  | PERENNIAL GARDEN  |
| 4.  | PEDESTRIAN PORTAL WITH SCONCE LIGHTS  |
| 5.  | TREE GRATES   |
| 6.  | PEDESTRIAN GATES  |
| 7.  | PEDESTRIAN ACCENT PAVING - CONCRETE PAVERS  |
| 8.  | 5' WIDE SALT FINISH SIDEWALKS (TYP.)  |
| 9.  | 6' WIDE SALT FINISH SIDEWALKS (TYP.)  |
| 10. | A.D.A. RAMP   |
| 11. | LANDSCAPE / BUILDING SET BACK   |
| 12. | FIRE HYDRANTS   |
| 13. | BIKE RACKS  |
| 14. | PROPERTY LINE   |
| 15. | MAILBOX KIOSK   |
| 16. | POOL  |
| 17. | KOOL DECK - COLOR   |
| 18. | 6' HT. POOL FENCE & COLUMNS   |
| 19. | SPA   |
| 20. | SHADE STRUCTURE   |
| 21. | PLAYGROUND STRUCTURE IN SAND BED WITH CONCRETE HEADER   |
| 22. | BBQ AREA  |
| 23. | FIRE TROUGH / FIRE PIT  |
| 24. | PEDESTRIAN GATES & COLUMNS  |
| 25. | AUTO ENTRY COURT WITH ACCENT PAVING   |
| 26. | SITE DIRECTORY  |
| 27. | ENTRY SIGNAGE 'S-S' AS PER SANTAN VILLAGE MASTER SIGN PROGRAM   |
| 28. | VEHICULAR ACCENT PAVING - INTEGRAL COLORED CONCRETE, WASHED AGGREGATE FINISH  |
| 29. | VEHICULAR ACCENT PAVING - INTEGRAL COLORED CONCRETE, SMOOTH TROWEL FINISH   |
| 30. | VEHICULAR ACCENT PAVING - CONCRETE PAVERS   |
| 31. | PARALLEL PARKING  |
| 32. | GUEST PARKING   |
| 33. | TRASH ENCLOSURE   |
| 34. | RECYCLING ENCLOSURE   |
| 35. | MASONRY WALL, GROUND FACE CMU, 3' HT  |
| 36. | MASONRY WALL, GROUND FACE CMU, 6' HT  |
| 37. | PLANT MATERIAL IN R.O.W. TO REMAIN, COORDINATE WITH TOWN OF GILBERT TO RESTORE PLANT MATERIAL TO AS-BUILT CONDITION |
| 38. | FAIR HOUSING PATH OF TRAVEL   |



NOTES:  
\* REFER TO SHEET L5.0 FOR ADDITIONAL DETAILS  
\* REFER TO SHEET L5.1 FOR PRELIMINARY MATERIAL CHARACTER IMAGES

VICINITY MAP



PRELIMINARY NOT FOR CONSTRUCTION

HanmiGlobal Partner  
51 W. Third Street, Suite 201  
Tempe, AZ 85281  
Phone 480.557.6670  
Fax 480.557.6506

SENNA AT  
SANTAN  
VILLAGE  
Town of Gilbert, AZ

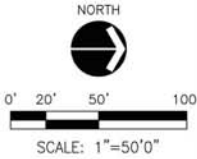
LWI  
PROPERTIES  
2487 S. GILBERT RD.  
STE106-210  
GILBERT, AZ 85295



RENDERED  
SITE PLAN

#	Date	Description
05/21/2014	Revisions	
05/21/2014	Date	
SG, MS	Designed By	
AF, BJ, SG, SQ, ZW	Drawn By	
MS, SG	Checked By	
17174	Project Number	

L2.1  
Sheet Number  
Copyright 2014 © Sheet of XX



If this drawing is less than 24" x 36", it has been reduced. Scale accordingly.



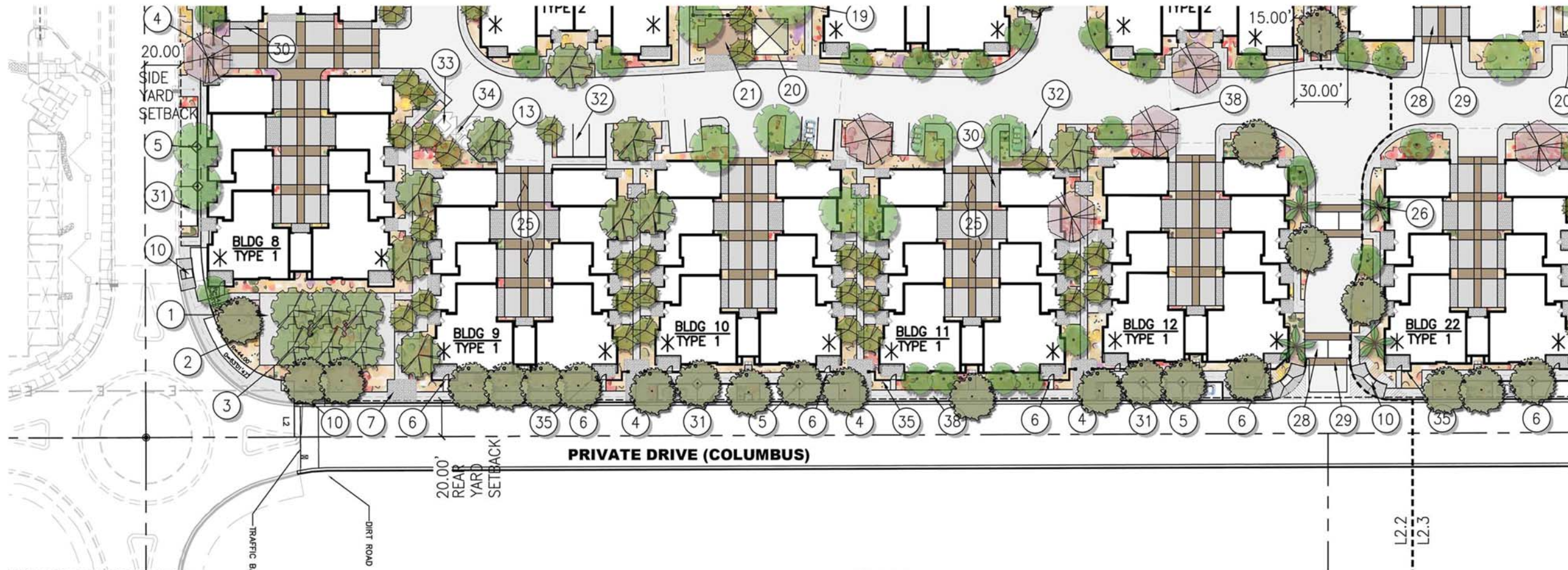


COLOR SCHEME 1  
BUILDING 9

COLOR SCHEME 3  
BUILDING 10

COLOR SCHEME 2  
BUILDING 11

COLOR SCHEME 1  
BUILDING 12



#### HARDSCAPE KEY NOTES

##### KEY DESCRIPTION

1. URBAN PLAZA
2. BENCHES
3. PERENNIAL GARDEN
4. PEDESTRIAN PORTAL WITH SCONCE LIGHTS
5. TREE GRATES
6. PEDESTRIAN GATES
7. PEDESTRIAN ACCENT PAVING - CONCRETE PAVERS
8. 5' WIDE SALT FINISH SIDEWALKS (TYP.)
9. 6' WIDE SALT FINISH SIDEWALKS (TYP.)
10. A.D.A. RAMP
11. LANDSCAPE / BUILDING SET BACK
12. FIRE HYDRANTS
13. BIKE RACKS
14. PROPERTY LINE
15. MAILBOX KIOSK
16. POOL
17. KOOL DECK
18. 6' HT. POOL FENCE & COLUMNS
19. SPA
20. SHADE STRUCTURE / PAVERS BELOW
21. PLAYGROUND STRUCTURE IN SAND BED WITH CONCRETE HEADER
22. BBQ AREA
23. FIRE TROUGH / FIRE PIT
24. PEDESTRIAN GATES & COLUMNS
25. AUTO ENTRY COURT WITH ACCENT PAVING
26. SITE DIRECTORY
27. ENTRY SIGNAGE 'S-S' AS PER SANTAN VILLAGE MASTER SIGN PROGRAM
28. VEHICULAR ACCENT PAVING - CONCRETE, WASHED AGGREGATE FINISH
29. VEHICULAR ACCENT PAVING - CONCRETE, SMOOTH TROWEL FINISH
30. VEHICULAR ACCENT PAVING - CONCRETE PAVERS
31. PARALLEL PARKING
32. GUEST PARKING
33. TRASH ENCLOSURE
34. RECYCLING ENCLOSURE
35. MASONRY WALL, GROUND FACE CMU, 3' HT
36. MASONRY WALL, GROUND FACE CMU, 6' HT
37. PLANT MATERIAL IN R.O.W. TO REMAIN. COORDINATE WITH TOWN OF GILBERT TO RESTORE PLANT MATERIAL TO AS-BUILT CONDITION
38. FAIR HOUSING PATH OF TRAVEL

NOTES:  
\* REFER TO SHEET L5.0 FOR ADDITIONAL DETAILS  
\* REFER TO SHEET L5.1 FOR PRELIMINARY MATERIAL CHARACTER IMAGES

PHASE BOUNDARY

SIGHT VISIBILITY TRIANGLES PER TOWN OF GILBERT STANDARD DETAIL NO.92

\* TYPE B ADAPTABLE UNITS PER FHA

NORTH

0' 10' 30' 60'

SCALE: 1"=30'0"

Call at least two full working days before you begin excavation.

**ARIZONA 811**  
Arizona Statewide Utility Service

800-488-8111 or 1-800-STAR-811 (782-8111)  
In Maricopa County: (602) 263-1100

PRELIMINARY NOT FOR CONSTRUCTION

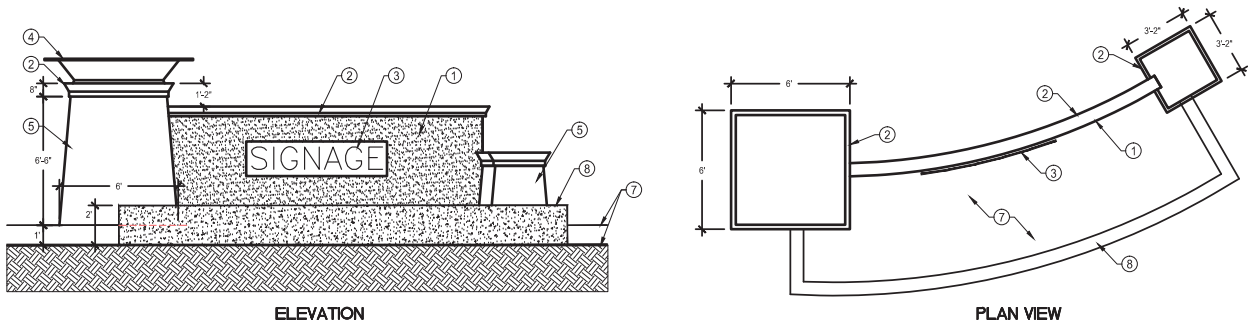
LWI PROPERTIES  
2487 S. GILBERT RD.  
STE106-210  
GILBERT, AZ 85295



URBAN EDGE CONDITION

#	Date	Description
1	05/21/2014	Revisions
2		
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		
16		
17		
18		
19		
20		
21		
22		
23		
24		
25		
26		
27		
28		
29		
30		
31		
32		
33		
34		
35		
36		
37		
38		
39		
40		
41		
42		
43		
44		
45		
46		
47		
48		
49		
50		

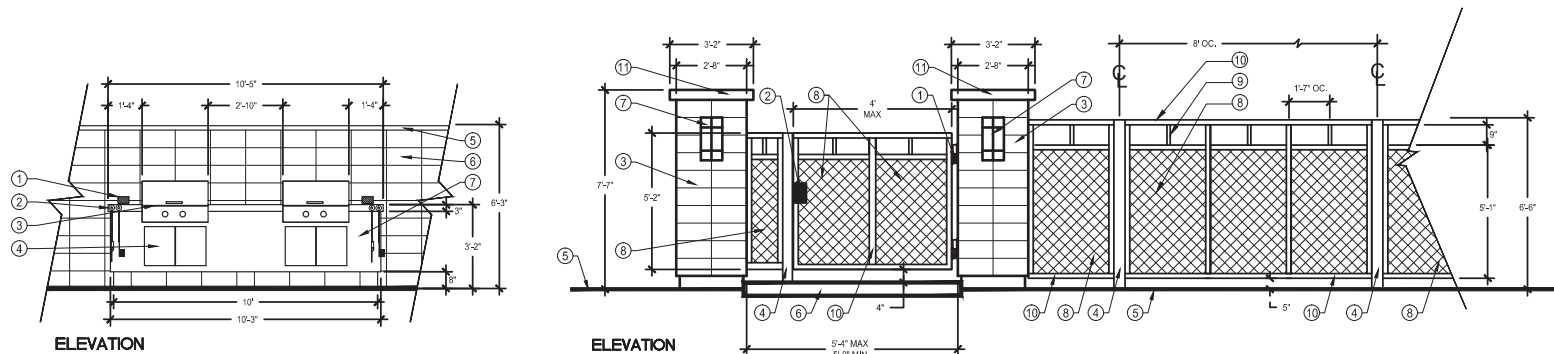




- ELEVATION**
- 1 STUCCO ON CMU, PAINT TO MATCH ICI 634 'LA MESA' AS PER SAN TAN VILLAGE DESIGN GUIDELINES
  - 2 CONCRETE CORNICE TO MATCH ICI 370 'WOODRUFF', AS PER SAN TAN VILLAGE DESIGN GUIDELINES
  - 3 REVERSE PAN CHANNEL HALO ILLUMINATED LETTERS, POWDER COAT ROHM AND HAAS 'WEATHERED BROWN', AS PER SAN TAN VILLAGE DESIGN GUIDELINES
  - 4 METAL TOWER POT (WITH UP-LIGHT BENEATH), POWDER COAT ROHM & HAAS 'WEATHERED BROWN', AS PER SAN TAN VILLAGE DESIGN GUIDELINES
  - 5 CULTURED STONE 'PRO-FIT ALPINE LEDGESTONE - AUTUM' VENEER OVER CMU COLUMN BASE, MORTAR BASE, AS PER SAN TAN VILLAGE DESIGN GUIDELINES
  - 6 POUR IN PLACE CONCRETE RETAINING WALL FINISH: NATURAL POLISH CONCRETE
  - 7 FILL WITH PLANTING SOIL

**1 'S-5' SIGN MONUMENT**

N.T.S.



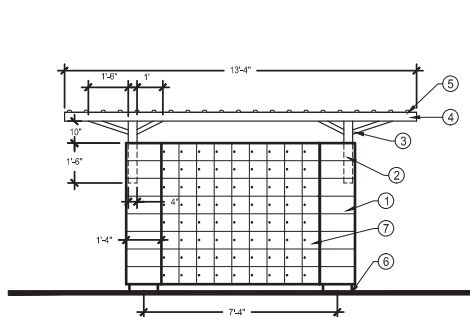
- ELEVATION**
- 1 GFCI WEATHER PROOF ELECTRICAL OUTLET
  - 2 SANDED AND SEALED POURED-IN-PLACE CONCRETE COUNTER
  - 3 BUILT-IN GAS BARBECUE
  - 4 STAINLESS STEEL ACCESS DOOR WITH STEEL FRAME
  - 5 PRE-CAST CONCRETE CAP
  - 6 GROUND FACE MASONRY WALL WITH STACKED BOND PATTERN
  - 7 STUCCO, MATCH ARCHITECTURE
  - 8 PERFORATED METAL (MCNICHOLS) SQUARE PERFORATIONS WITH STRAIGHT CENTERS, PERFORATION SIZE: 3/8" BAR SIZE: 1/8"
  - 9 1" SQ. TUBE STEEL
  - 10 2" SQ. TUBE STEEL
  - 11 PRE-CAST CONCRETE CAP

**2 TYPICAL BBQ UNIT**

N.T.S.

**3 TYPICAL POOL ENTRY GATE/SECURITY FENCE**

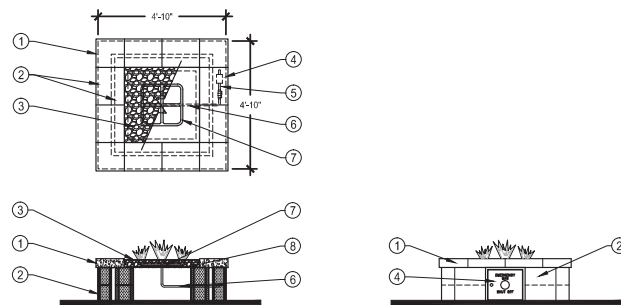
N.T.S.



- 1 GROUND FACE MASONRY COLUMNS
- 2 4" SQ. METAL TUBE EMBEDDED AND GROUTED INTO CMU BLOCK CELL
- 3 1"X2" STEEL SUPPORTS WELDED AT ALL CONNECTIONS
- 4 RECTANGULAR HOLLOW STEEL TUBE FRAME
- 5 GALVANIZED CORRUGATED SHEET METAL WITH SQUARE PROFILE, EDGE CONCEALED BY FLASHING
- 6 CONCRETE PAVERS
- 7 MAILBOX UNITS PER US POSTAL SERVICE

**6 MAILBOX ELEVATION**

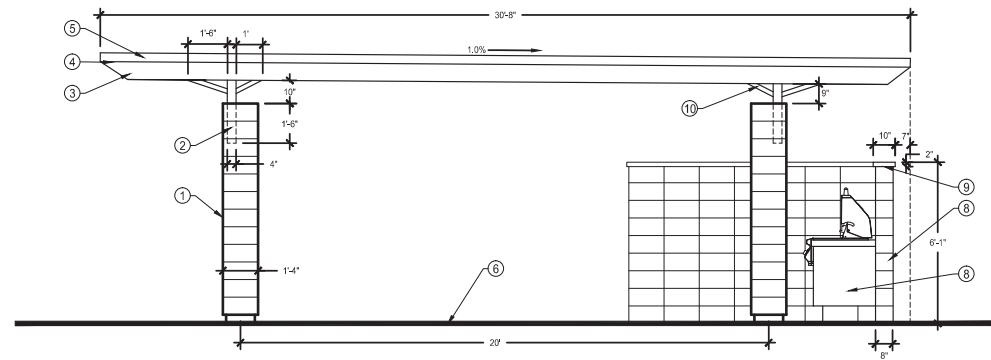
N.T.S.



- 1 PRECAST CONCRETE CAP
- 2 GROUND FACE MASONRY
- 3 2"-3" LAVA ROCK
- 4 ACCESS HATCH WITH EMERGENCY SHUT-OFF BUTTON ON DOOR EXTERIOR
- 5 GAS SHUT-OFF, AND TIMER
- 6 GAS LINE TO BURNER
- 7 18" SQUARE STAINLESS STEEL BURNER
- 8 30" SQUARE STAINLESS STEEL BURNER PAN

**7 FIRE PIT (PHASE I)**

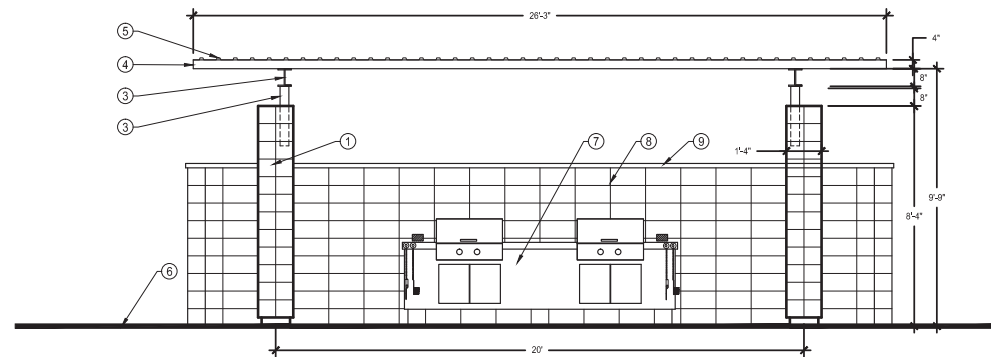
N.T.S.



- 1 GROUND FACE MASONRY COLUMNS
- 2 4" SQ. METAL TUBE EMBEDDED AND GROUTED INTO CMU BLOCK CELL
- 3 STEEL I-BEAM WITH 45° CHAMFER AT BOTH ENDS
- 4 RECTANGULAR HOLLOW STEEL TUBE FRAME
- 5 GALVANIZED CORRUGATED SHEET METAL WITH SQUARE PROFILE, EDGE CONCEALED BY FLASHING
- 6 SURFACE MATERIAL VARIES, SEE PLAN
- 7 BBQ STATION (WHEN RAMADA OCCURS AT POOL)
- 8 GROUND FACE MASONRY WALL (WHEN RAMADA OCCURS AT POOL)
- 9 PRE-CAST CONCRETE CAP
- 10 1"X2" STEEL SUPPORTS WELDED AT ALL CONNECTIONS

**4 RAMADA ELEVATION - SIDE**

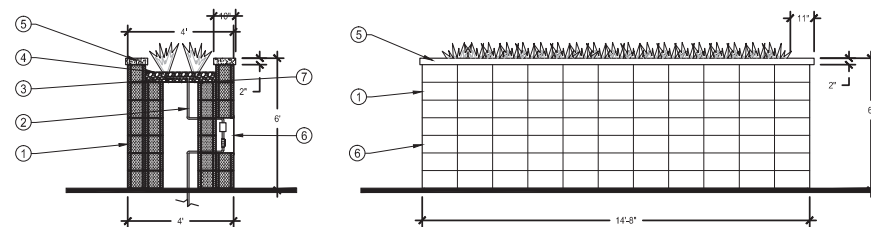
N.T.S.



- 1 GROUND FACE MASONRY COLUMNS
- 2 4" SQ. METAL TUBE EMBEDDED AND GROUTED INTO CMU BLOCK CELL
- 3 STEEL I-BEAM WITH 45° CHAMFER AT BOTH ENDS
- 4 RECTANGULAR HOLLOW STEEL TUBE FRAME
- 5 GALVANIZED CORRUGATED SHEET METAL WITH SQUARE PROFILE, EDGE CONCEALED BY FLASHING
- 6 SURFACE MATERIAL VARIES, SEE PLAN
- 7 BBQ STATION (WHEN RAMADA OCCURS AT POOL)
- 8 GROUND FACE MASONRY WALL (WHEN RAMADA OCCURS AT POOL)
- 9 PRECAST CONCRETE CAP

**5 RAMADA ELEVATION - FRONT**

N.T.S.



- 1 GROUND FACE MASONRY
- 2 GAS LINE TO POOL MECHANICAL ROOM
- 3 STAINLESS STEEL TUBE BURNERS
- 4 2"-3" BLACK LAVA ROCK
- 5 PRECAST CONCRETE CAP
- 6 ACCESS HATCH WITH GAS SHUT-OFF, TIMER, AND EMERGENCY SHUT-OFF BUTTON ON DOOR EXTERIOR
- 7 30"X152" STEEL BURNER PAN

**8 FIRE TROUGH (PHASE II)**

N.T.S.



HammiGlobal Partner

51 W. Third Street, Suite 201  
Tempe, AZ 85281  
Phone 480.557.6670  
Fax 480.557.6506

**SENNA AT SANTAN VILLAGE**

Town of Gilbert, AZ

**LWI PROPERTIES**  
2487 S. GILBERT RD.  
STE106-210  
GILBERT, AZ 85295



**LANDSCAPE DETAILS**

#	Date	Description
1	MAY 2014	1st Review

#	Date	Description
Revisions	05/22/2014	
Date		
SG, MS		
Designed By	AF, BJ, SG, SQ, ZW	
Drawn By		
MS, SG		
Checked By		
17174		
Project Number		

**L5.0**

Sheet Number  
Copyright 2014 ©

If this drawing is less than 24" x 36", it has been reduced. Scale accordingly.



Ground Face Masonry  
Trendstone Plus  
Color: Rutherford Gray



Ground Face Masonry  
Trendstone Plus  
Color: Opal



Ground Face Masonry  
Trendstone Plus  
Color: Desert Yellow



Concrete Pavers  
Pavestone  
Color: Charcoal



Concrete Pavers  
Pavestone  
Color: Two Tone Brown



Concrete Pavers  
Pavestone  
Color: Old Town Blend



Gray Salt Finish Concrete at  
Sidewalk



Pool Deck Surface  
Kool Deck  
Color: Sedona Tan



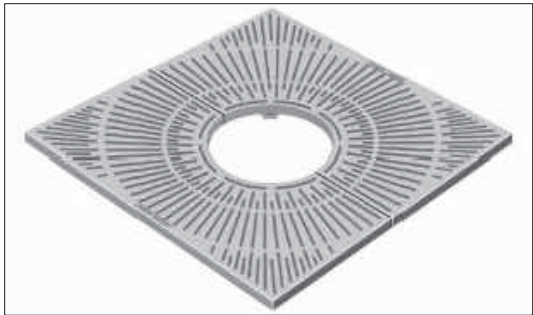
Washed Aggregate Finish  
at driveways



2'-3' Black Lava Rock  
for Fire Pit



Bench  
Forms+Surfaces  
Model: Balance Bench  
Size: 6'-3' Length  
Material: Powdercoated Aluminum  
Color: Textured Aluminum



Tree Grate  
Neenah Foundry  
Style: Metropolitan Collection  
Size: 4'-6" Square  
Cast Iron, Natural Finish



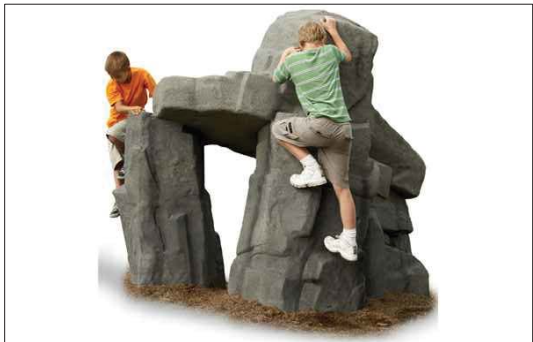
Bike Rack  
Forms+Surfaces  
Model: Bike Garden  
Size: Approx. 27" HT through 36" HT  
Material: Stainless Steel  
Color: Textured Aluminum



30" Built-in Gas Grill  
Twin Eagles  
Stainless Steel



Litter Receptacle  
Forms+Surfaces  
Model: Knight  
Size: Approx. 36" HT 21" SQ  
Material: Powdercoated Aluminum  
Color: Textured Slate



Ridge Boulder Play Structure  
Playworld Systems  
Material: PolyFiberCrete  
Color: Desert Sand  
Play Feature Size: 7'5" x 5'2" x 6'0"  
Safety Zone Size: 18'8" x 16'5"



Log Hop  
Playworld Systems  
Height: 12' or 16'



HammiGlobal Partner

51 W. Third Street, Suite 201  
Tempe, AZ 85281  
Phone 480.557.6670  
Fax 480.557.6506

## SENNA AT SANTAN VILLAGE

Town of Gilbert, AZ

## LWI PROPERTIES

2487 S. GILBERT RD.  
STE106-210  
GILBERT, AZ 85295



## LANDSCAPE MATERIALS

PRELIMINARY NOT FOR CONSTRUCTION

1	MAY 2014	1st Review

#	Date	Description
Revisions		
05/22/2014		
Date		
SG, MS		
Designed By		
AF, BJ, SG, SQ, ZW		
Drawn By		
MS, SG		
Checked By		
17174		
Project Number		

**L5.1**  
Sheet Number  
Copyright 2014 ©

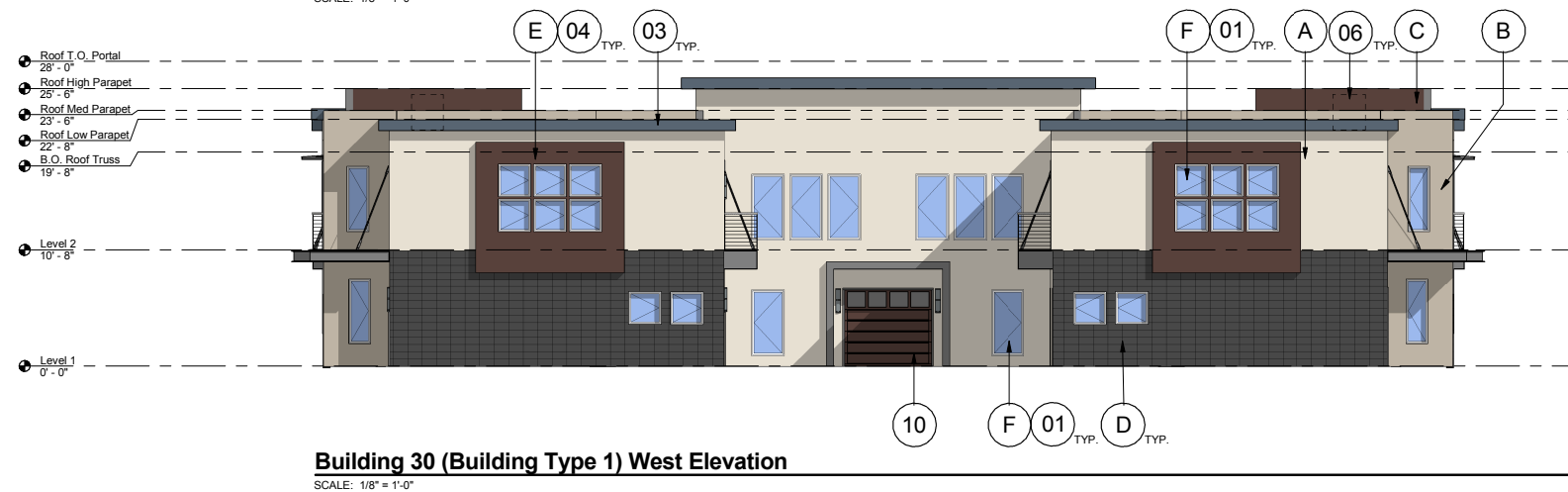
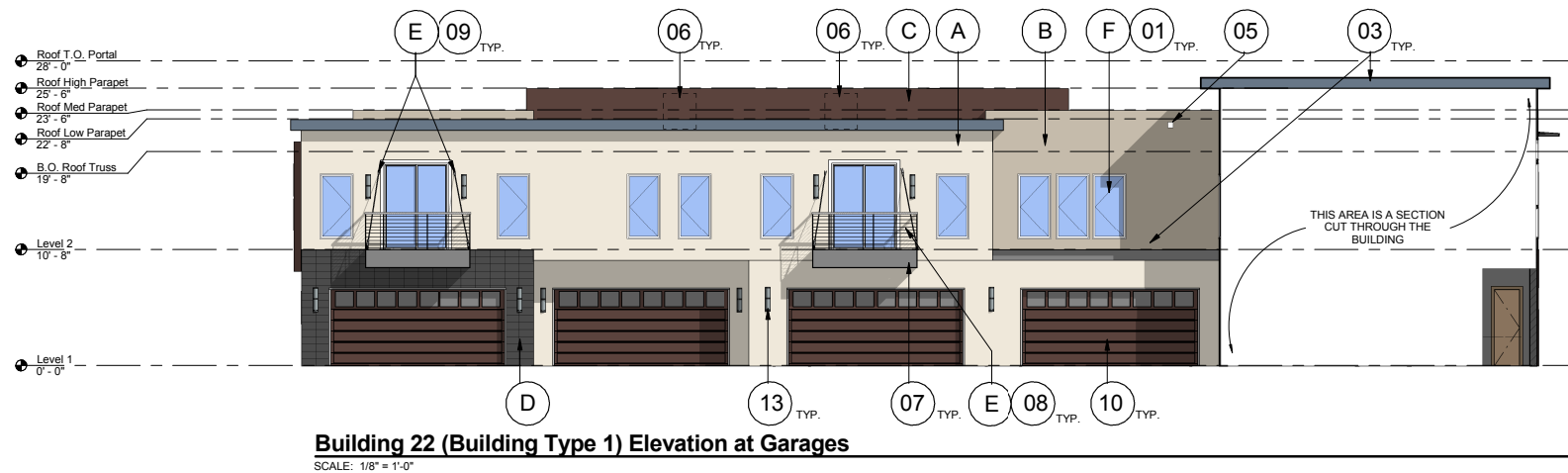
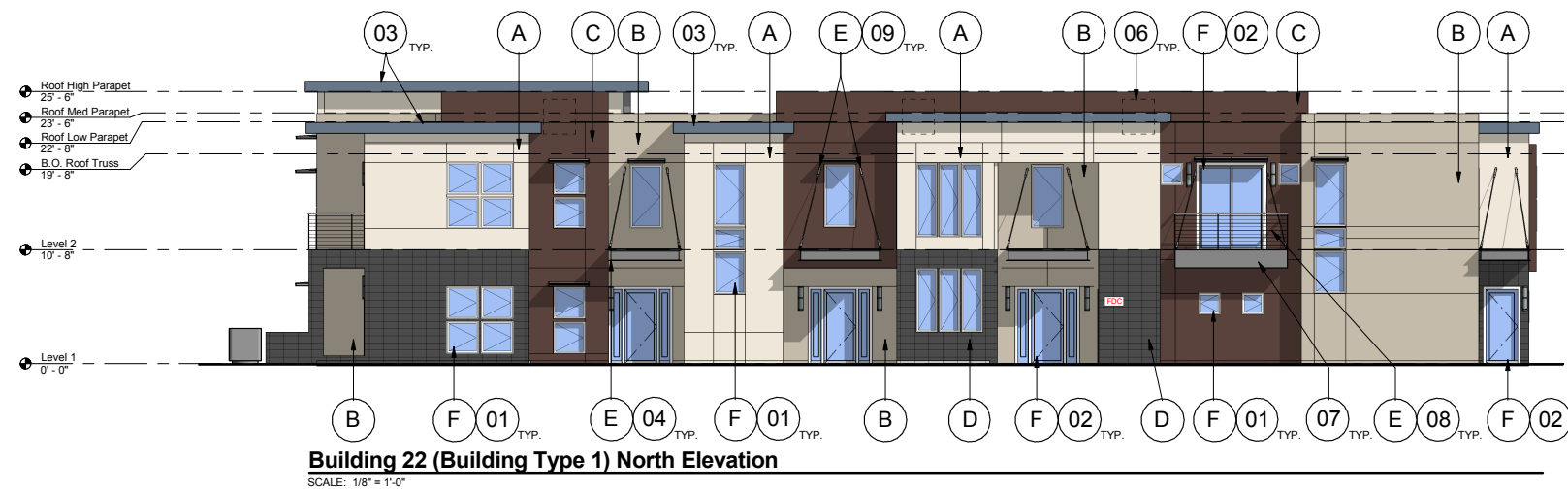


Call at least two full working days  
before you begin excavation.  
Arizona 811  
Arizona Blue State, Inc.  
Dist 8-1-1 or 1-800-STAKE-11 (782-5348)  
In Maricopa County: (602) 263-1100

If this drawing is less than 24" x 36", it has  
been reduced. Scale accordingly.



Revit File: C:\Users\scottg\Documents\17174\_SennaPI\_Concept Model\_RAC v14\_sctg.rvt  
Plot Date: 5/22/2014 2:00:35 PM



## DR14-20: Senna at SanTan Village Attachment 5 - Elevations/Floor Plans/ Colors and Materials

**NOTE:**  
ELEVATIONS SHOWN ARE  
TYPES WITH COLOR OF  
LOCATIONS.

ROOFTOP HVAC UNITS /  
HVAC UNITS ON THE GROUND ARE SCREENED WITH FOLIAGE,  
SEE LANDSCAPE DRAWINGS.

ROOF DRAINS VIA CONCEALED INTERIOR ROOF DRAINS THAT  
DAYLIGHT TO NEARBY FOLIAGE.

ROOF ACCESS IS VIA INTERNAL ACCESS HATCHES.

### SITE COLOR SCHEME

COLOR OPTION	BUILDING NUMBERS
OPTION 1	1, 4, 8, 13, 14, 16, 18, 22, 26, 27, 30, 31
OPTION 2	3, 5, 6, 10, 21, 24, 28, 32, 23, 29
OPTION 3	2, 7, 9, 11, 12, 15, 17, 19, 20, 25

### MATERIALS LEGEND:

- A COLOR A OPTION 1 (SEE MATERIAL BOARD FOR SAMPLES)
- B COLOR B OPTION 1 (SEE MATERIAL BOARD FOR SAMPLES)
- C COLOR C OPTION 1 (SEE MATERIAL BOARD FOR SAMPLES)
- D CMU OPTION 1 (SEE MATERIAL BOARD FOR SAMPLES)
- E EXPOSED STEEL, UNPAINTED
- F VINYL, DOUBLE PANE LOW-E GLAZING TYPICAL

### KEYED NOTES:

- 01 WINDOW. SEE MATERIAL BOARD FOR PRODUCT INFO.
- 02 DOOR. SEE MATERIAL BOARD FOR PRODUCT INFO.
- 03 BUILT UP FLAT ROOF, 1/2"/12" PITCH.
- 04 STEEL WINDOW SHADE ELEMENT.
- 05 ROOF DRAINAGE (OVERFLOW SCUPPERS).
- 06 MECHANICAL UNIT ON ROOF.
- 07 BALCONY.
- 08 RAILING. EXPOSED STEEL.
- 09 METAL CABLE STAY. MOUNTED TO EXTERIOR WALL.
- 10 16'-0" GARAGE
- 11 MECHANICAL UNIT ON GROUND. SEE SITE FOR SCREENING
- 12 FIRE RISER. WHERE OCCURS. SEE CIVIL FOR LOCATIONS
- 13 WALL MOUNTED LIGHTING FIXTURE. SEE PAGE E1.3 FOR CUT SHEET.

HanmiGlobal Partner  
Otak Architects, Inc  
51 W 3rd Street, Suite 201  
Tempe, AZ 85281  
Phone 480.557.6670  
Fax 480.557.6506

## Senna at SanTan Village Phase I

Gilbert, Arizona

LWI PROPERTIES  
LWI Properties

2487 S. Gilbert Road  
STE106-210  
Gilbert, AZ 85295

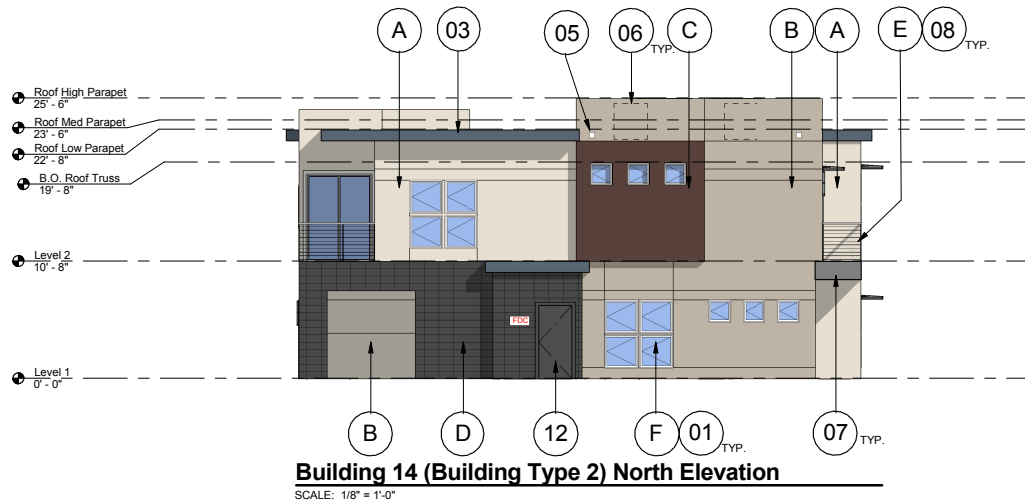
## Building Type 1 Elevations Color Option 1

#	Date	Description
Revisions		
5/22/14		
Date		
SG/SQ		
Designed By		
SG/SQ		
Drawn By		
SG/SQ		
Checked By		
Proj. # 17174		
Project Number		

**DR7.1a**

Sheet Number  
Copyright 2013 ©  
If this drawing is less than 24" x 36", it has  
been reduced. Scale accordingly.

Revit File: C:\Users\scottg\Documents\17174\_SennaPl\_Concept Model\_L&AC v14\_sctg.rvt  
Plot Date: 5/22/2014 2:00:41 PM



**NOTE:**  
ELEVATIONS SHOWN ARE TYPICAL FOR ALL TYPE 1 BUILDING TYPES WITH COLOR OPTION 1. SEE SITE PLAN FOR SPECIFIC LOCATIONS.

ROOFTOP HVAC UNITS ARE FULLY SCREENED BY PARAPETS. HVAC UNITS ON THE GROUND ARE SCREENED WITH FOLIAGE, SEE LANDSCAPE DRAWINGS.

ROOF DRAINS VIA CONCEALED INTERIOR ROOF DRAINS THAT DAYLIGHT TO NEARBY FOLIAGE.

ROOF ACCESS IS VIA INTERNAL ACCESS HATCHES.

**SITE COLOR SCHEME**

COLOR OPTION	BUILDING NUMBERS
OPTION 1	1, 4, 8, 13, 14, 16, 18, 22, 26, 27, 30, 31
OPTION 2	3, 5, 6, 10, 21, 24, 28, 32, 23, 29
OPTION 3	2, 7, 9, 11, 12, 15, 17, 19, 20, 25

**MATERIALS LEGEND:**

- (A) COLOR A OPTION 1 (SEE MATERIAL BOARD FOR SAMPLES)
- (B) COLOR B OPTION 1 (SEE MATERIAL BOARD FOR SAMPLES)
- (C) COLOR C OPTION 1 (SEE MATERIAL BOARD FOR SAMPLES)
- (D) CMU OPTION 1 (SEE MATERIAL BOARD FOR SAMPLES)
- (E) EXPOSED STEEL, UNPAINTED
- (F) VINYL, DOUBLE PANE LOW-E GLAZING TYPICAL

**KEYED NOTES:**

- 01 WINDOW. SEE MATERIAL BOARD FOR PRODUCT INFO.
- 02 DOOR. SEE MATERIAL BOARD FOR PRODUCT INFO.
- 03 BUILT UP FLAT ROOF, 1/2"/12" PITCH.
- 04 STEEL WINDOW SHADE ELEMENT.
- 05 ROOF DRAINAGE (OVERFLOW SCUPPERS).
- 06 MECHANICAL UNIT ON ROOF.
- 07 BALCONY.
- 08 RAILING. EXPOSED STEEL.
- 09 METAL CABLE STAY. MOUNTED TO EXTERIOR WALL.
- 10 16'-0" GARAGE
- 11 MECHANICAL UNIT ON GROUND. SEE SITE FOR SCREENING
- 12 FIRE RISER. WHERE OCCURS. SEE CIVIL FOR LOCATIONS
- 13 WALL MOUNTED LIGHTING FIXTURE. SEE PAGE E1.3 FOR CUT SHEET.



HanmiGlobal Partner  
Otak Architects, Inc  
51 W 3rd Street, Suite 201  
Tempe, AZ 85281  
Phone 480.557.6670  
Fax 480.557.6506

Senna at  
SanTan Village  
Phase I

Gilbert, Arizona



LWI Properties

2487 S. Gilbert Road  
STE106-210  
Gilbert, AZ 85295

Building Type 2  
Elevations  
Color Options 1

#	Date	Description
Revisions		
5/22/14		Date
		Author
		Designed By
		Author
		Drawn By
		Author
		Checked By
		Proj. # 17174
		Project Number

**DR7.2a**

Sheet Number  
Copyright 2013 ©  
If this drawing is less than 24" x 36", it has been reduced. Scale accordingly.



bert, Arizona



7 S. Gilbert Road  
E106-210  
ert, AZ 85295

01 WINDOW. SEE MATERIAL BOARD FOR PRODUCT INFO.

02 DOOR. SEE MATERIAL BOARD FOR PRODUCT INFO.

03 BUILT UP FLAT ROOF, 1/2"/12" PITCH.

04 STEEL WINDOW SHADE ELEMENT.

05 ROOF DRAINAGE (OVERFLOW SCUPPERS).

06 MECHANICAL UNIT ON ROOF.

07 BALCONY.

08 RAILING. EXPOSED STEEL.

09 METAL CABLE STAY. MOUNTED TO EXTERIOR WALL.

10 16'-0" GARAGE

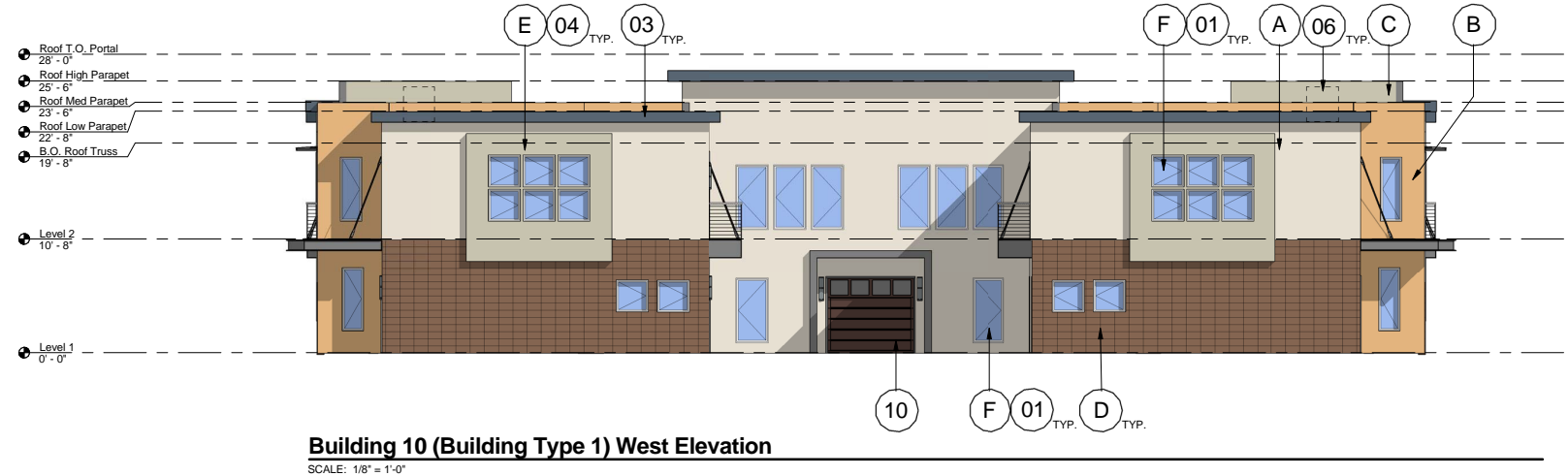
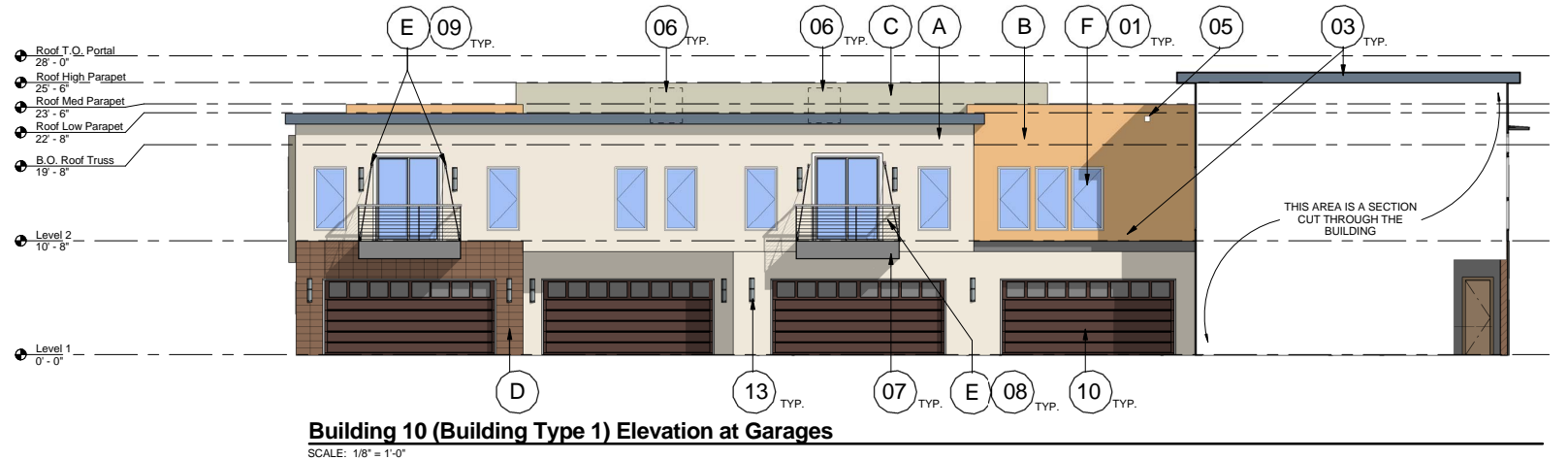
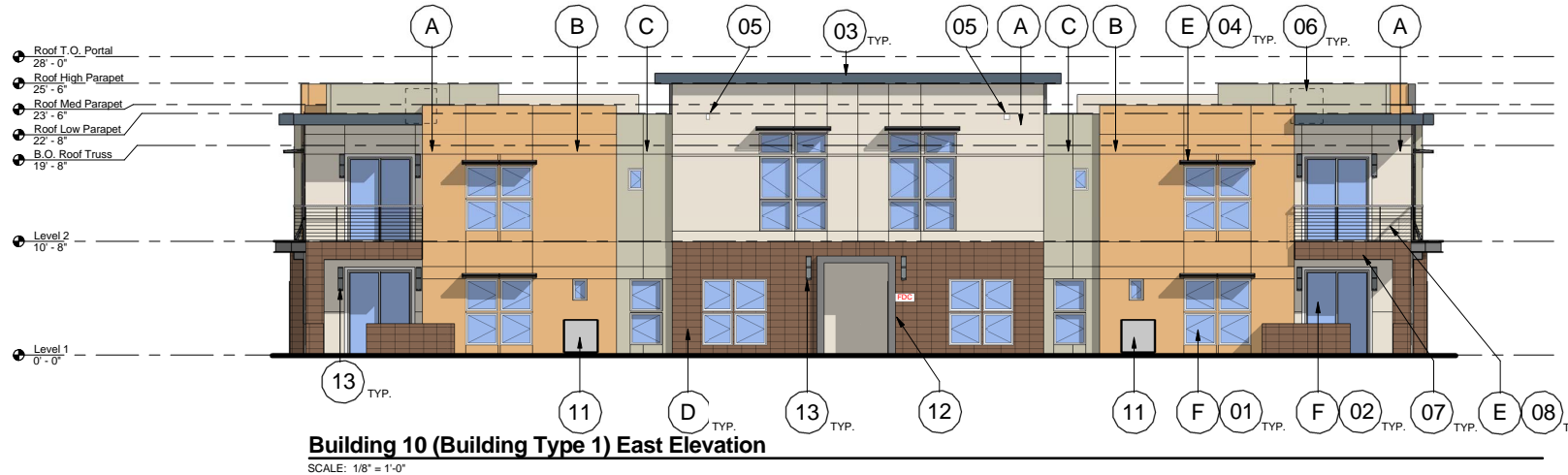
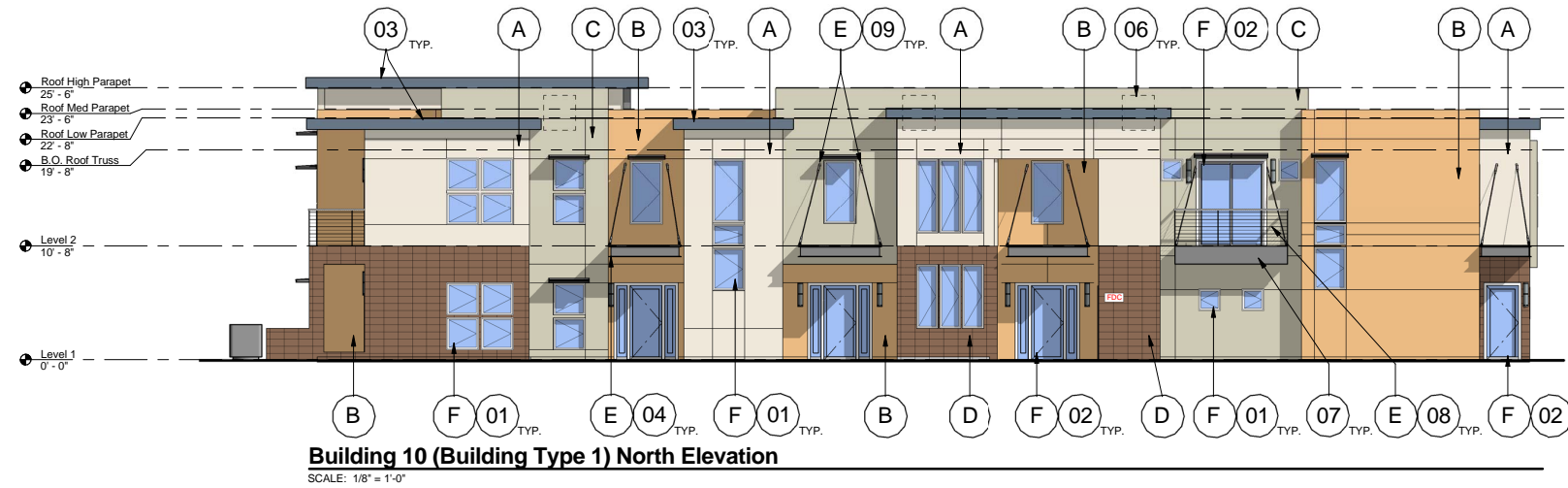
11 MECHANICAL UNIT ON GROUND. SEE SITE FOR SCREENING

12 FIRE RISER. WHERE OCCURS. SEE CIVIL FOR LOCATIONS

13 WALL MOUNTED LIGHTING FIXTURE. SEE PAGE E1.3 FOR CUT SHEET.

Date	Description
1/14	
Q	
ended By	
Q	
n By	
Q	
ended By	
# 17174	
st Number	

**DR7.1b**  
Number  
Copyright 2013 ©  
Drawing is less than 24" x 36", it has  
reduced. Scale accordingly.





**NOTE:**  
ELEVATIONS SHOWN ARE TYPICAL FOR ALL TYPE 1 BUILDING  
TYPES WITH COLOR OPTION 1. SEE SITE PLAN FOR SPECIFIC  
LOCATIONS.

ROOFTOP HVAC UNITS ARE FULLY SCREENED BY PARAPETS.  
HVAC UNITS ON THE GROUND ARE SCREENED WITH FOLIAGE,  
SEE LANDSCAPE DRAWINGS.

ROOF DRAINS VIA CONCEALED INTERIOR ROOF DRAINS THAT DAYLIGHT TO NEARBY FOLIAGE.

ROOF ACCESS IS VIA INTERNAL ACCESS HATCHES.

## SITE COLOR SCHEME

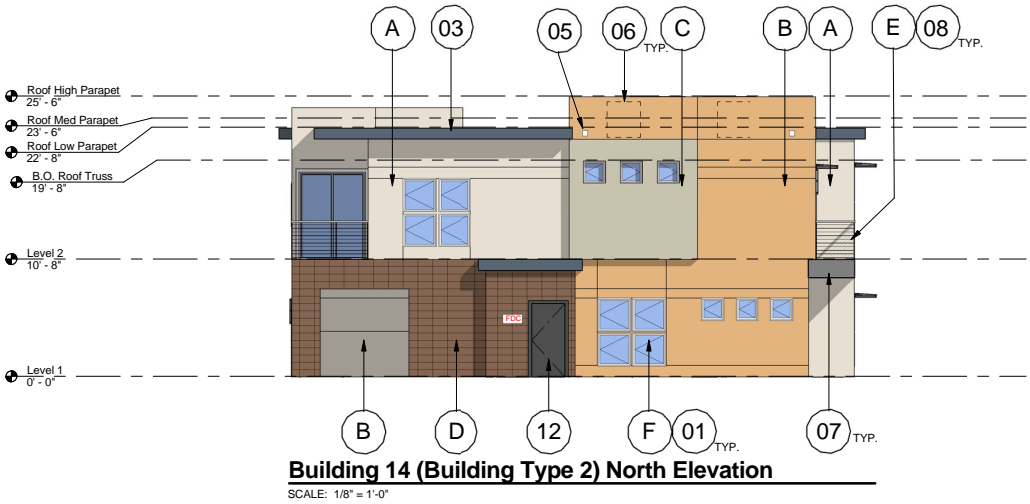
<u>COLOR OPTION</u>	<u>BUILDING NUMBERS</u>
OPTION 1	1, 4, 8, 13, 14, 16, 18, 22, 26, 27, 30, 31
OPTION 2	3, 5, 6, 10, 21, 24, 28, 32, 23, 29
OPTION 3	2, 7, 9, 11, 12, 15, 17, 19, 20, 25

**MATERIALS LEGEND:**

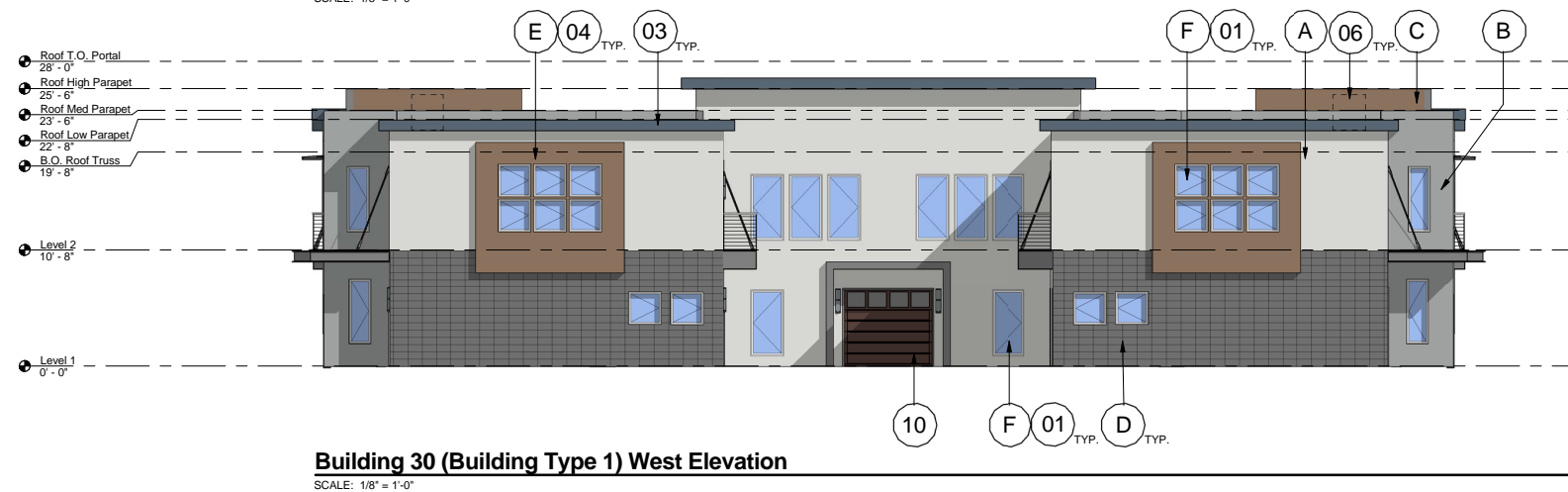
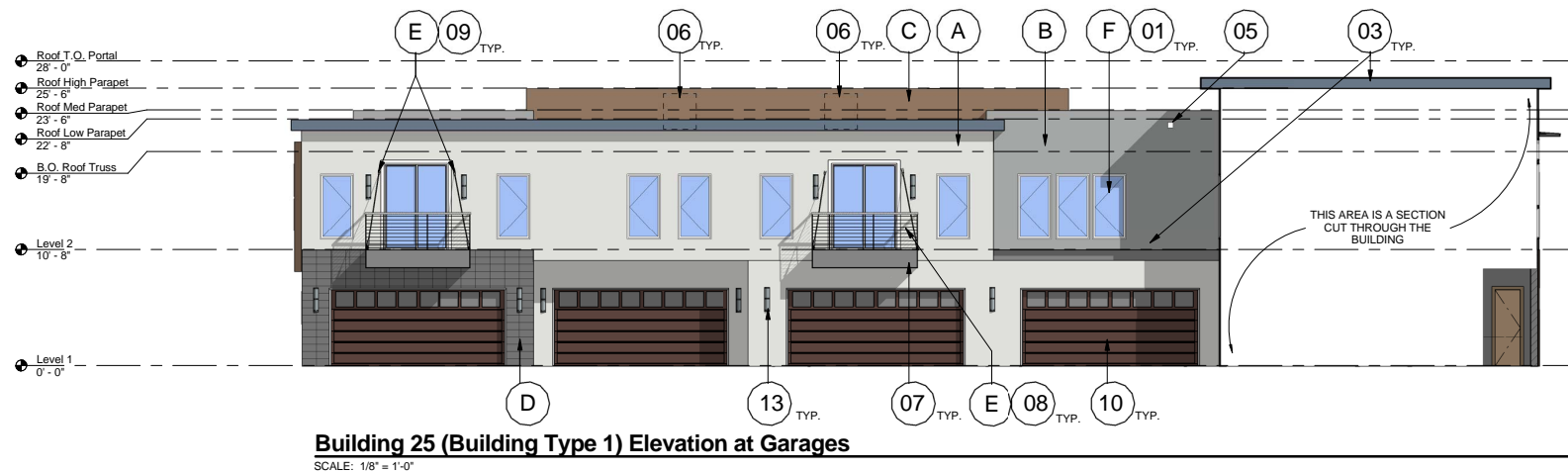
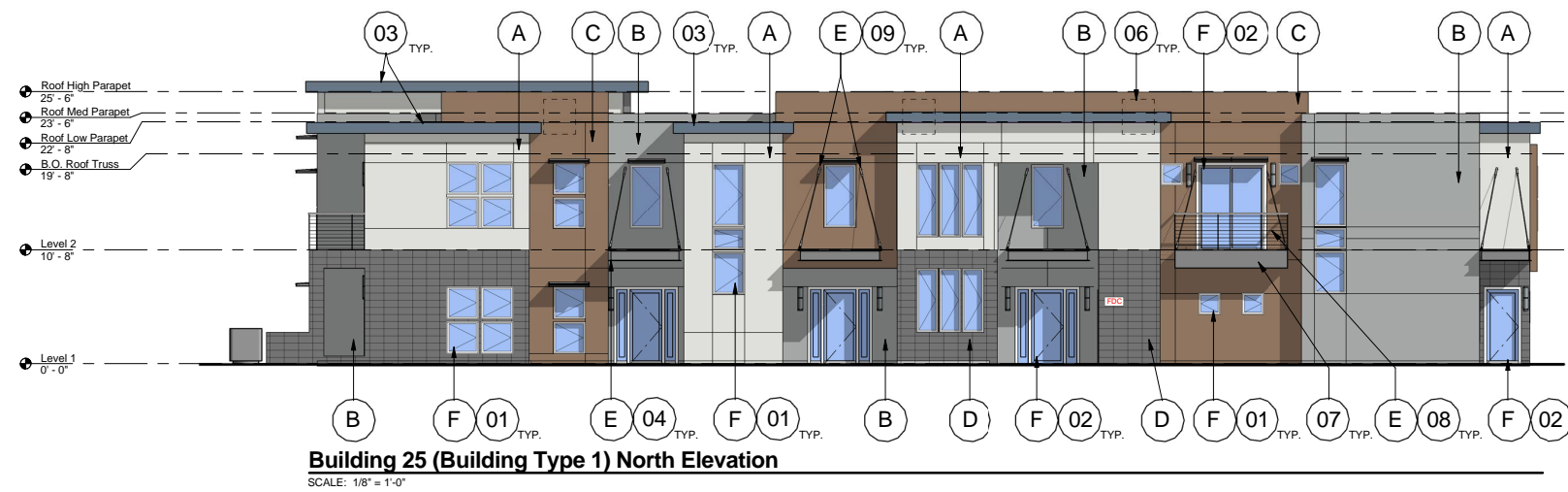
- (A) COLOR A OPTION 1 (SEE MATERIAL BOARD FOR SAMPLES)
- (B) COLOR B OPTION 1 (SEE MATERIAL BOARD FOR SAMPLES)
- (C) COLOR C OPTION 1 (SEE MATERIAL BOARD FOR SAMPLES)
- (D) CMU OPTION 1 (SEE MATERIAL BOARD FOR SAMPLES)
- (E) EXPOSED STEEL, UNPAINTED
- (F) VINYL, DOUBLE PANE LOW-E GLAZING TYPICAL

**KEYED NOTES:**

- 01 WINDOW. SEE MATERIAL BOARD FOR PRODUCT INFO.
- 02 DOOR. SEE MATERIAL BOARD FOR PRODUCT INFO.
- 03 BUILT UP FLAT ROOF, 1/2"/12" PITCH.
- 04 STEEL WINDOW SHADE ELEMENT.
- 05 ROOF DRAINAGE (OVERFLOW SCUPPERS).
- 06 MECHANICAL UNIT ON ROOF.
- 07 BALCONY.
- 08 RAILING. EXPOSED STEEL.
- 09 METAL CABLE STAY. MOUNTED TO EXTERIOR WALL.
- 10 16'-0" GARAGE
- 11 MECHANICAL UNIT ON GROUND. SEE SITE FOR SCREENING
- 12 FIRE RISER. WHERE OCCURS. SEE CIVIL FOR LOCATIONS
- 13 WALL MOUNTED LIGHTING FIXTURE. SEE PAGE E1.3 FOR CUT SHEET.



Revit File: T:\projects\170017174\DWG\Revit\17174\_SennaP1\_Concept Model\_Color Option 3.rvt  
Plot Date: 5/22/2014 2:19:48 PM  
3/20/2014



**NOTE:**  
ELEVATIONS SHOWN ARE TYPICAL FOR ALL TYPE 1 BUILDING TYPES WITH COLOR OPTION 1. SEE SITE PLAN FOR SPECIFIC LOCATIONS.

ROOFTOP HVAC UNITS ARE FULLY SCREENED BY PARAPETS. HVAC UNITS ON THE GROUND ARE SCREENED WITH FOLIAGE, SEE LANDSCAPE DRAWINGS.

ROOF DRAINS VIA CONCEALED INTERIOR ROOF DRAINS THAT DAYLIGHT TO NEARBY FOLIAGE.

ROOF ACCESS IS VIA INTERNAL ACCESS HATCHES.

#### SITE COLOR SCHEME

COLOR OPTION	BUILDING NUMBERS
OPTION 1	1, 4, 8, 13, 14, 16, 18, 22, 26, 27, 30, 31
OPTION 2	3, 5, 6, 10, 21, 24, 28, 32, 23, 29
OPTION 3	2, 7, 9, 11, 12, 15, 17, 19, 20, 25

#### MATERIALS LEGEND:

- A COLOR A OPTION 1 (SEE MATERIAL BOARD FOR SAMPLES)
- B COLOR B OPTION 1 (SEE MATERIAL BOARD FOR SAMPLES)
- C COLOR C OPTION 1 (SEE MATERIAL BOARD FOR SAMPLES)
- D CMU OPTION 1 (SEE MATERIAL BOARD FOR SAMPLES)
- E EXPOSED STEEL, UNPAINTED
- F VINYL, DOUBLE PANE LOW-E GLAZING TYPICAL

#### KEYED NOTES:

- 01 WINDOW. SEE MATERIAL BOARD FOR PRODUCT INFO.
- 02 DOOR. SEE MATERIAL BOARD FOR PRODUCT INFO.
- 03 BUILT UP FLAT ROOF, 1/2"/12" PITCH.
- 04 STEEL WINDOW SHADE ELEMENT.
- 05 ROOF DRAINAGE (OVERFLOW SCUPPERS).
- 06 MECHANICAL UNIT ON ROOF.
- 07 BALCONY.
- 08 RAILING. EXPOSED STEEL.
- 09 METAL CABLE STAY. MOUNTED TO EXTERIOR WALL.
- 10 16'-0" GARAGE
- 11 MECHANICAL UNIT ON GROUND. SEE SITE FOR SCREENING
- 12 FIRE RISER. WHERE OCCURS. SEE CIVIL FOR LOCATIONS
- 13 WALL MOUNTED LIGHTING FIXTURE. SEE PAGE E1.3 FOR CUT SHEET.



HanmiGlobal Partner  
Otak Architects, Inc  
51 W 3rd Street, Suite 201  
Tempe, AZ 85281  
Phone 480.557.6670  
Fax 480.557.6506

Senna at  
SanTan Village  
Phase I

Gilbert, Arizona



LWI Properties

2487 S. Gilbert Road  
STE 106-210  
Gilbert, AZ 85295

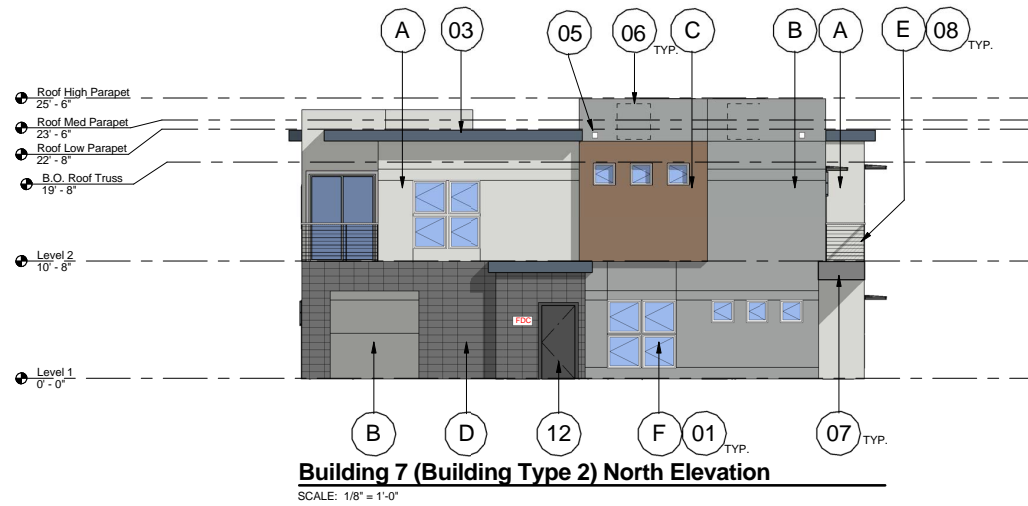
Building Type 1  
Elevations  
Color Option 3

#	Date	Description
Revisions		
5/22/14		
Date		
SG/SQ		
Designed By		
SG/SQ		
Drawn By		
SG/SQ		
Checked By		
Proj. # 17174		
Project Number		

**DR7.1c**

Sheet Number  
Copyright 2013 ©  
If this drawing is less than 24" x 36", it has been reduced. Scale accordingly.

Revit File: T:\projects\171001\17174\DWG\Revit\17174\_SennaP1\_Concept Model\_Color Option 3.rvt  
Plot Date: 5/22/2014 2:20:02 PM  
3/20/2014



**NOTE:**  
ELEVATIONS SHOWN ARE TYPICAL FOR ALL TYPE 1 BUILDING TYPES WITH COLOR OPTION 1. SEE SITE PLAN FOR SPECIFIC LOCATIONS.

ROOFTOP HVAC UNITS ARE FULLY SCREENED BY PARAPETS. HVAC UNITS ON THE GROUND ARE SCREENED WITH FOLIAGE, SEE LANDSCAPE DRAWINGS.

ROOF DRAINS VIA CONCEALED INTERIOR ROOF DRAINS THAT DAYLIGHT TO NEARBY FOLIAGE.

ROOF ACCESS IS VIA INTERNAL ACCESS HATCHES.

#### SITE COLOR SCHEME

COLOR OPTION	BUILDING NUMBERS
OPTION 1	1, 4, 8, 13, 14, 16, 18, 22, 26, 27, 30, 31
OPTION 2	3, 5, 6, 10, 21, 24, 28, 32, 23, 29
OPTION 3	2, 7, 9, 11, 12, 15, 17, 19, 20, 25

#### MATERIALS LEGEND:

- (A) COLOR A OPTION 1 (SEE MATERIAL BOARD FOR SAMPLES)
- (B) COLOR B OPTION 1 (SEE MATERIAL BOARD FOR SAMPLES)
- (C) COLOR C OPTION 1 (SEE MATERIAL BOARD FOR SAMPLES)
- (D) CMU OPTION 1 (SEE MATERIAL BOARD FOR SAMPLES)
- (E) EXPOSED STEEL, UNPAINTED
- (F) VINYL, DOUBLE PANE LOW-E GLAZING TYPICAL

#### KEYED NOTES:

- 01 WINDOW. SEE MATERIAL BOARD FOR PRODUCT INFO.
- 02 DOOR. SEE MATERIAL BOARD FOR PRODUCT INFO.
- 03 BUILT UP FLAT ROOF, 1/2"/12" PITCH.
- 04 STEEL WINDOW SHADE ELEMENT.
- 05 ROOF DRAINAGE (OVERFLOW SCUPPERS).
- 06 MECHANICAL UNIT ON ROOF.
- 07 BALCONY.
- 08 RAILING. EXPOSED STEEL.
- 09 METAL CABLE STAY. MOUNTED TO EXTERIOR WALL.
- 10 16'-0" GARAGE
- 11 MECHANICAL UNIT ON GROUND. SEE SITE FOR SCREENING
- 12 FIRE RISER. WHERE OCCURS. SEE CIVIL FOR LOCATIONS
- 13 WALL MOUNTED LIGHTING FIXTURE. SEE PAGE E1.3 FOR CUT SHEET.



HanmiGlobal Partner  
Otak Architects, Inc  
51 W 3rd Street, Suite 201  
Tempe, AZ 85281  
Phone 480.557.6670  
Fax 480.557.6506

Senna at  
SanTan Village  
Phase I

Gilbert, Arizona



LWI Properties

2487 S. Gilbert Road  
STE106-210  
Gilbert, AZ 85295

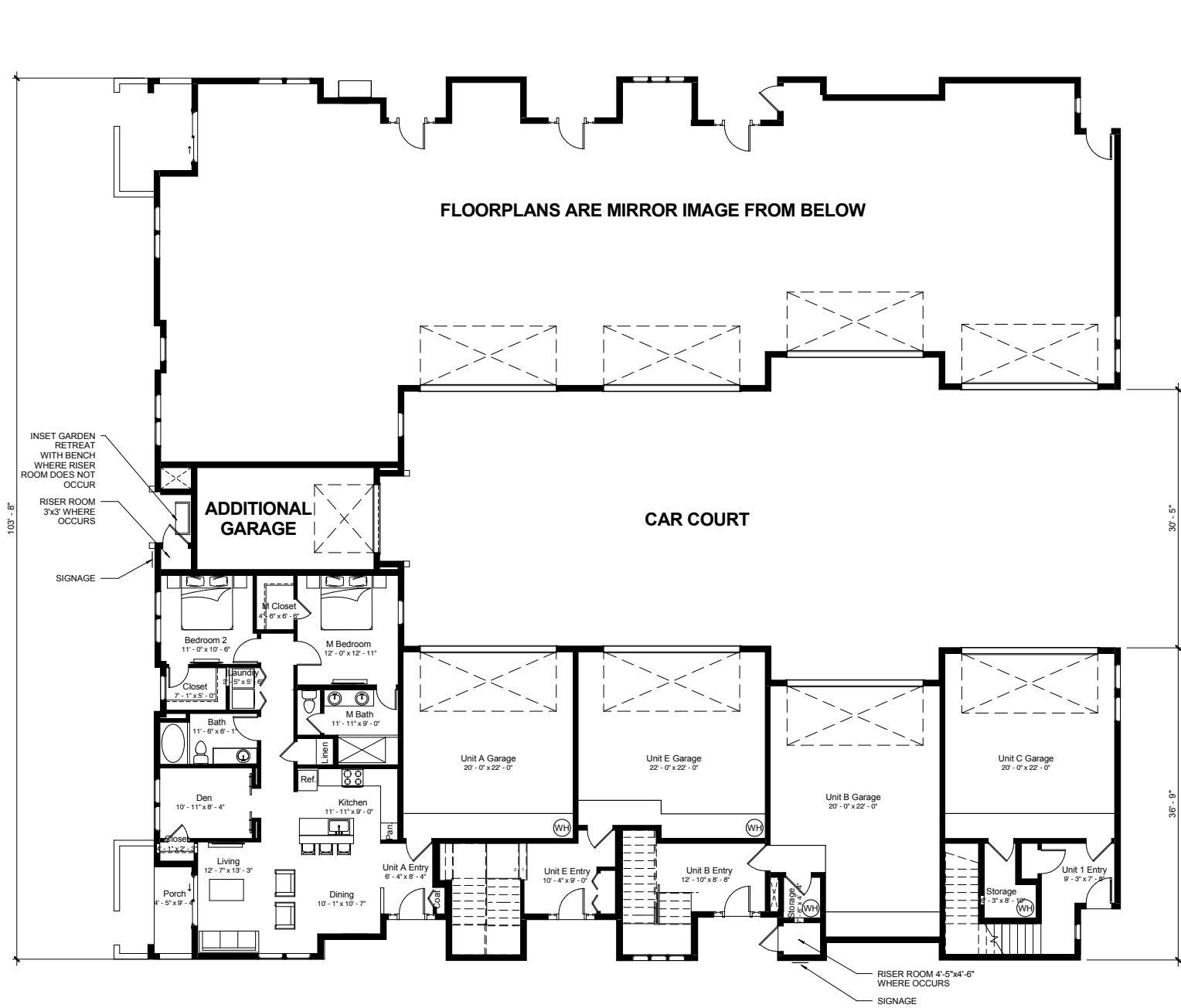
Building Type 2  
Elevations  
Color Options 3

#	Date	Description
Revisions		
5/22/14		
Date		
Author		
Designed By		
Author		
Drawn By		
Author		
Checked By		
Proj. # 17174		
Project Number		

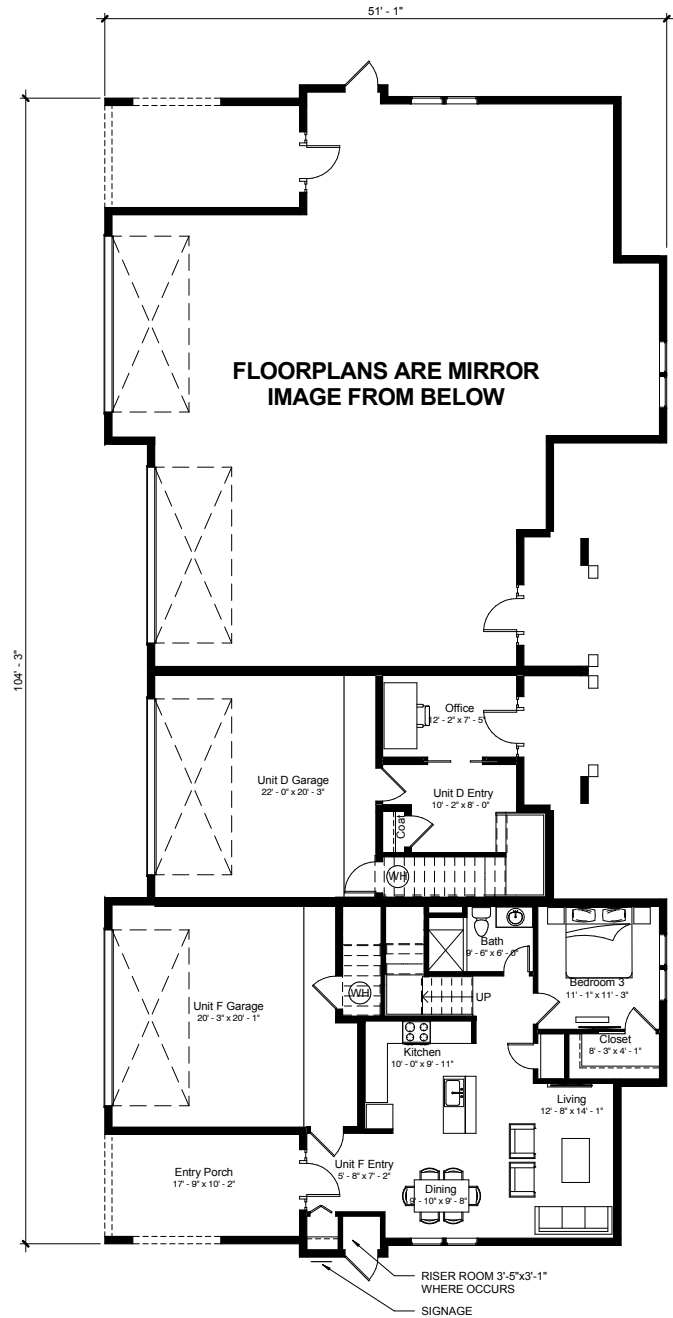
**DR7.2c**

Sheet Number  
Copyright 2013 ©  
If this drawing is less than 24" x 36", it has been reduced. Scale accordingly.

Revit File: C:\Users\scottg\Documents\17174\_SennaP1\_Concept Model\_L&C v14\_sctg.rvt  
Plot Date: 5/22/2014 2:00:41 PM



TYPICAL BUILDING (TYPE 1)



TYPICAL BUILDING (TYPE 2)

Building Composite Ground Floor

SCALE: 1/8" = 1'-0"

SEE SITE PLAN FOR COORDINATE ORIENTATION

GROSS FLOOR AREAS

	1st FLR	2nd FLR	Total
Building 1	8,769	9,034	17,803
Building 2	4,248	4,852	9,100
TOTAL BLD 1&2 - 26,903 SF			

GROSS LEASABLE AREAS

	Total
Unit A	1,277
Unit B	1,353
Unit C	1,462
Unit E	1,575
Building 1	11,334
Unit F	1,619
Unit D	1,549
Building 2	6,336

TOTAL BLD 1&2 - 17,670 SF



HanmiGlobal Partner  
Otak Architects, Inc  
51 W 3rd Street, Suite 201  
Tempe, AZ 85281  
Phone 480.557.6670  
Fax 480.557.6506

Senna at  
SanTan Village  
Phase I

Gilbert, Arizona



LWI Properties

2487 S. Gilbert Road  
STE106-210  
Gilbert, AZ 85295

Building Floor  
Plans

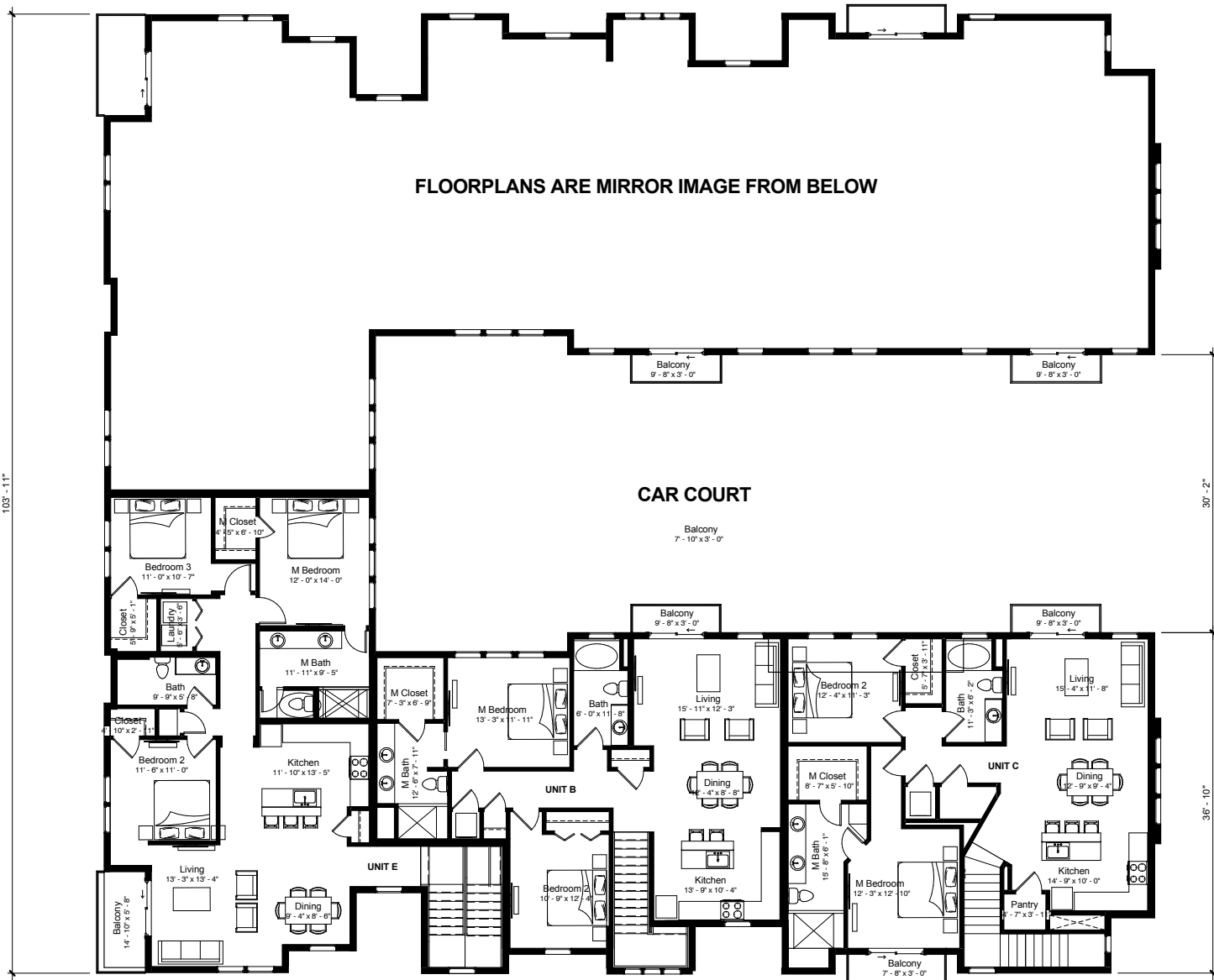
#	Date	Description
Revisions		
5/22/14		
Date		
Author		
Designed By		
Author		
Drawn By		
Author		
Checked By		
Proj. # 17174		
Project Number		

DR8.1

Sheet Number  
Copyright 2013 ©  
If this drawing is less than 24" x 36", it has  
been reduced. Scale accordingly.



Revit File: C:\Users\scottg\Documents\17174\_SennaP1\_Concept Model\_RAC v14\_sctg.rvt Plot Date: 5/22/2014 2:00:42 PM



TYPICAL BUILDING (TYPE 1)

Building Composite Second Floor

SCALE: 1/8" = 1'-0"

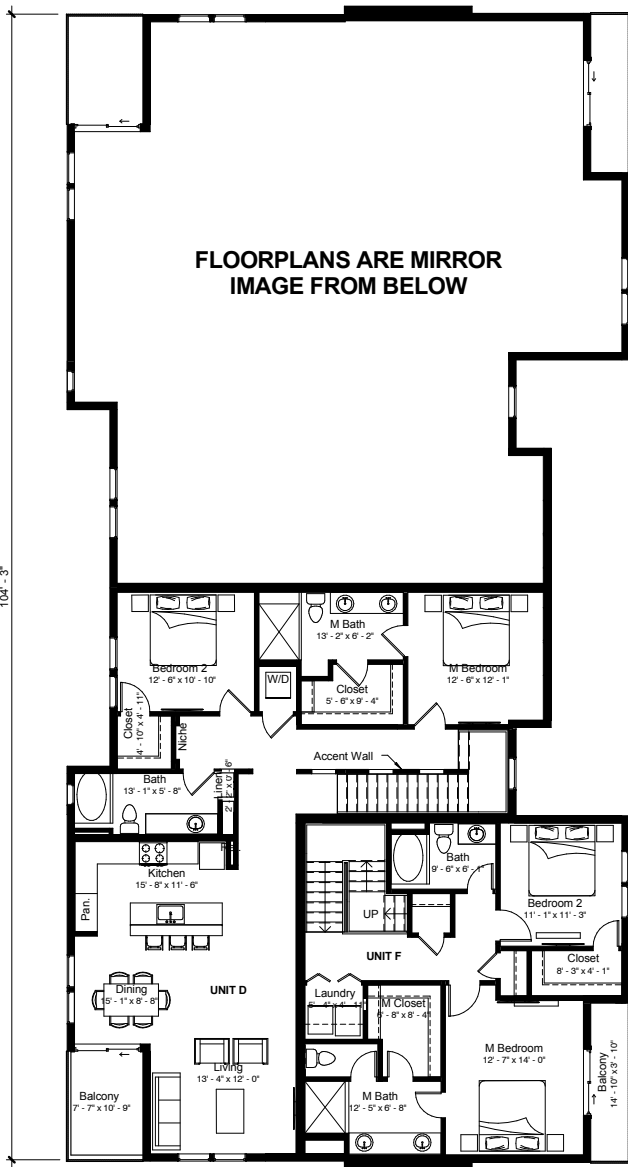
GROSS FLOOR AREAS

	1st FLR	2nd FLR	Total
Building 1	8,769	9,034	17,803
Building 2	4,248	4,852	9,100
TOTAL BLD 1&2 - 26,903 SF			

GROSS LEASABLE AREAS

	Total
Unit A	1,277
Unit B	1,353
Unit C	1,462
Unit E	1,575
Building 1	11,334
Unit F	1,619
Unit D	1,549
Buiding 2	6,336

TOTAL BLD 1&2 - 17,670 SF



TYPICAL BUILDING (TYPE 2)

SEE SITE PLAN FOR  
COORDINATE ORIENTATION



HanmiGlobal Partner  
Otak Architects, Inc  
51 W 3rd Street, Suite 201  
Tempe, AZ 85281  
Phone 480.557.6670  
Fax 480.557.6506

Senna at  
SanTan Village  
Phase I

Gilbert, Arizona



LWI Properties

2487 S. Gilbert Road  
STE106-210  
Gilbert, AZ 85295

Building Floor  
plans

#	Date	Description
Revisions		
5/22/14		
Date		
Author		
Designed By		
Author		
Drawn By		
Author		
Checked By		
Proj. # 17174		
Project Number		

DR8.2

Sheet Number  
Copyright 2013 ©  
If this drawing is less than 24" x 36", it has  
been reduced. Scale accordingly.



Revit File: C:\Users\scottg\Documents\17174\_SennaP1\_Concept Model\_LAC v14\_scttg.rvt Plot Date: 5/22/2014 2:00:42 PM

SQUARE FOOTAGE TABLE	
GROSS FLOOR AREA	1,840 SF
GROSS LEASABLE AREA	1,277 SF

NOTE:  
REFER TO SITE PLAN FOR GEOGRAPHIC LOCATION.



HanmiGlobal Partner  
Otak Architects, Inc  
51 W 3rd Street, Suite 201  
Tempe, AZ 85281  
Phone 480.557.6670  
Fax 480.557.6506

Senna at  
SanTan Village  
Phase I

Gilbert, Arizona



2487 S. Gilbert Road  
STE106-210  
Gilbert, AZ 85295



Unit A - Floor Plan

SCALE: 1/4" = 1'-0"

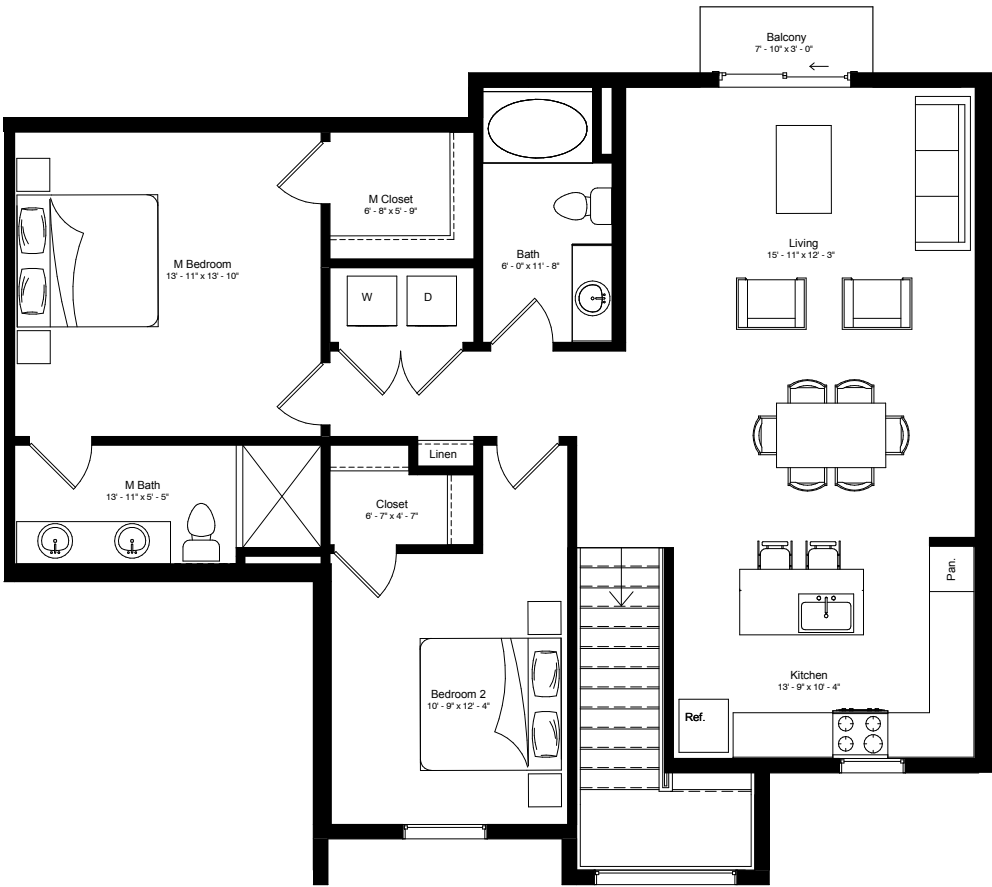
Floor Plans  
Unit A

#	Date	Description
Revisions		
5/22/14		
Date		
Author		
Designed By		
Author		
Drawn By		
Author		
Checked By		
Proj. # 17174		
Project Number		

DR8.3

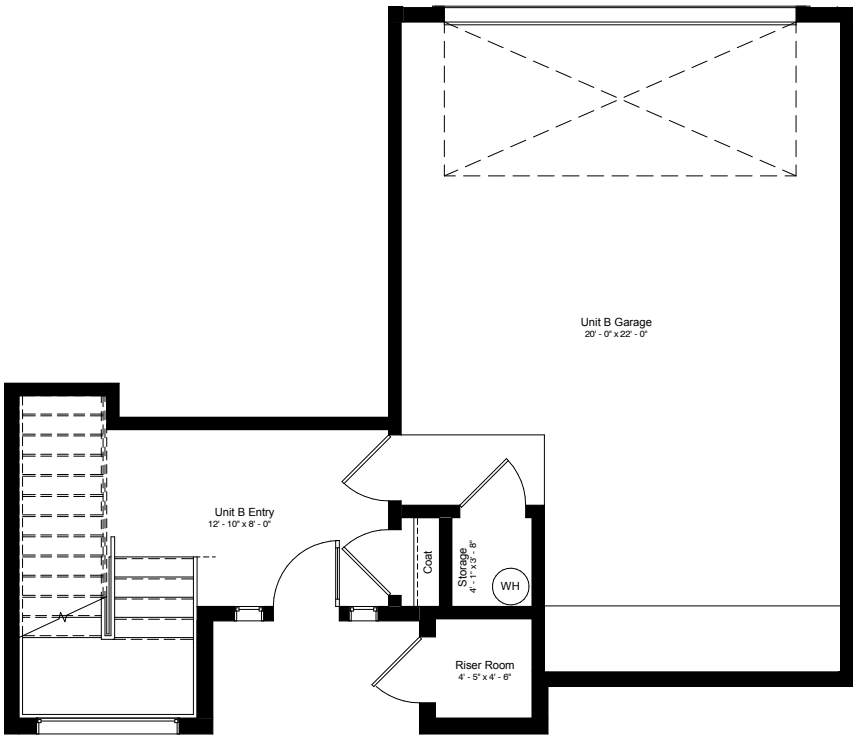
Sheet Number  
Copyright 2013 ©  
If this drawing is less than 24" x 36", it has been reduced. Scale accordingly.

Revit File: C:\Users\scottg\Documents\17174\_SennaP1\_Concept Model\_RAC v14\_AS\_xc011g.rvt Plot Date: 5/22/2014 2:09:37 PM



Unit B Second Floor Plan

SCALE: 1/4" = 1'-0"



Unit B First Floor Plan

SCALE: 1/4" = 1'-0"

SQUARE FOOTAGE TABLE	
GROSS FLOOR AREA	2,238 SF
GROSS LEASABLE AREA	1,510 SF
NET LEASABLE AREA	1,353 SF



HanmiGlobal Partner  
Otak Architects, Inc  
51 W 3rd Street, Suite 201  
Tempe, AZ 85281  
Phone 480.557.6670  
Fax 480.557.6506

Senna at  
SanTan Village  
Phase I

Enter address here



2487 S. Gilbert Road  
STE106-210  
Gilbert, AZ 85295

Floor Plans  
Unit B

#	Date	Description
Revisions		
5/21/14		
Date		
SG		
Designed By		
SG		
Drawn By		
SG		
Checked By		
Proj. # 17174		
Project Number		

DR8.4  
Sheet Number  
Copyright 2013 ©  
If this drawing is less than 24" x 36", it has been reduced. Scale accordingly.

Revit File C:\Users\scottg\Documents\17174\_SennaP1\_Concept Model\_RAC v14\_AS\_2014g.rvt Plot Date: 5/22/2014 2:09:37 PM

SQUARE FOOTAGE TABLE	
GROSS FLOOR AREA	2,246 SF
GROSS LEASABLE AREA	1,575 SF
NET LEASABLE AREA	1,462 SF



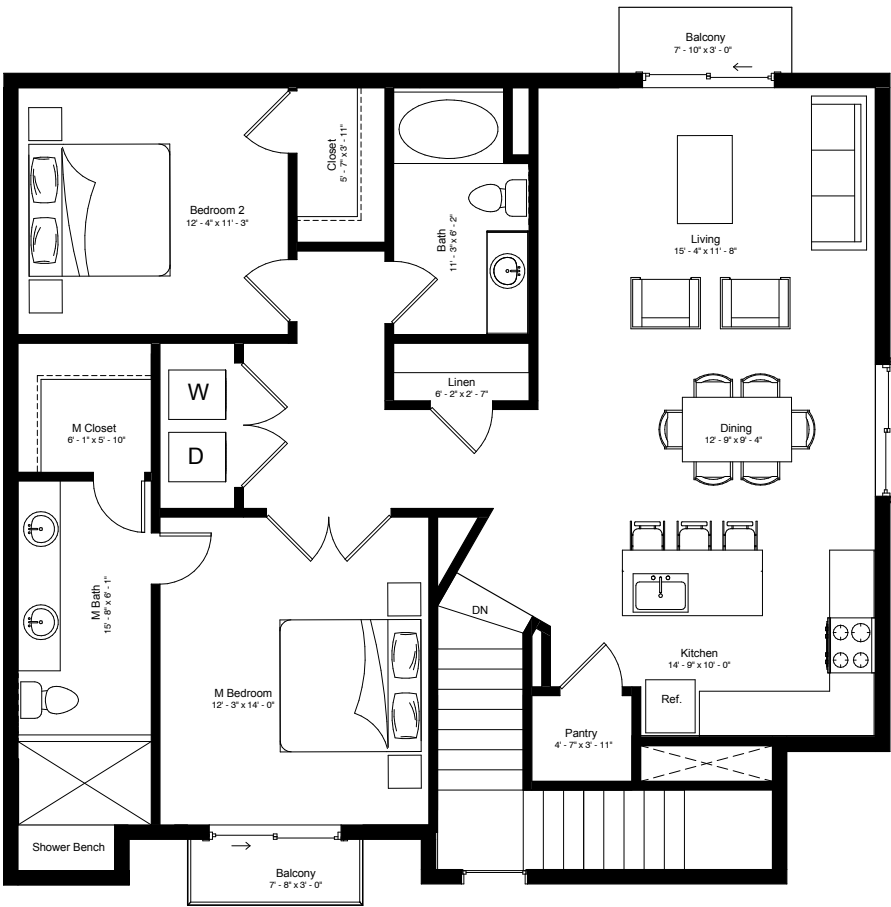
HanmiGlobal Partner  
Otak Architects, Inc  
51 W 3rd Street, Suite 201  
Tempe, AZ 85281  
Phone 480.557.6670  
Fax 480.557.6506

Senna at  
SanTan Village  
Phase I

Enter address here

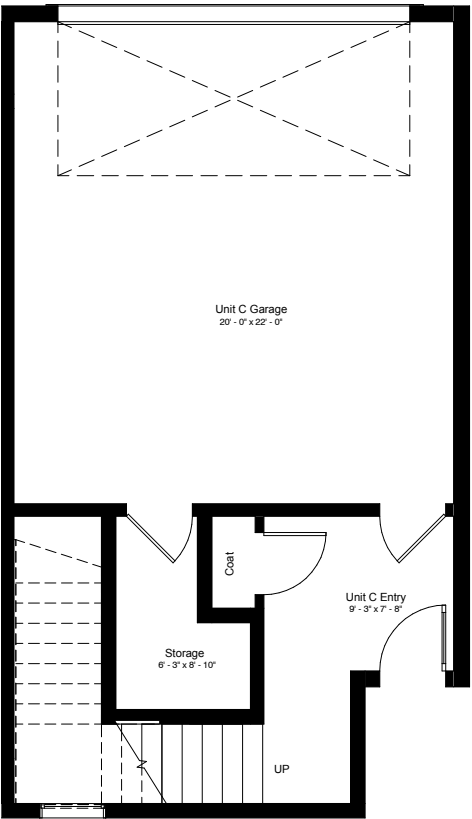


2487 S. Gilbert Road  
STE106-210  
Gilbert, AZ 85295



Unit C Second Floor Plan

SCALE: 1/4" = 1'-0"



Unit C First Floor Plan

SCALE: 1/4" = 1'-0"

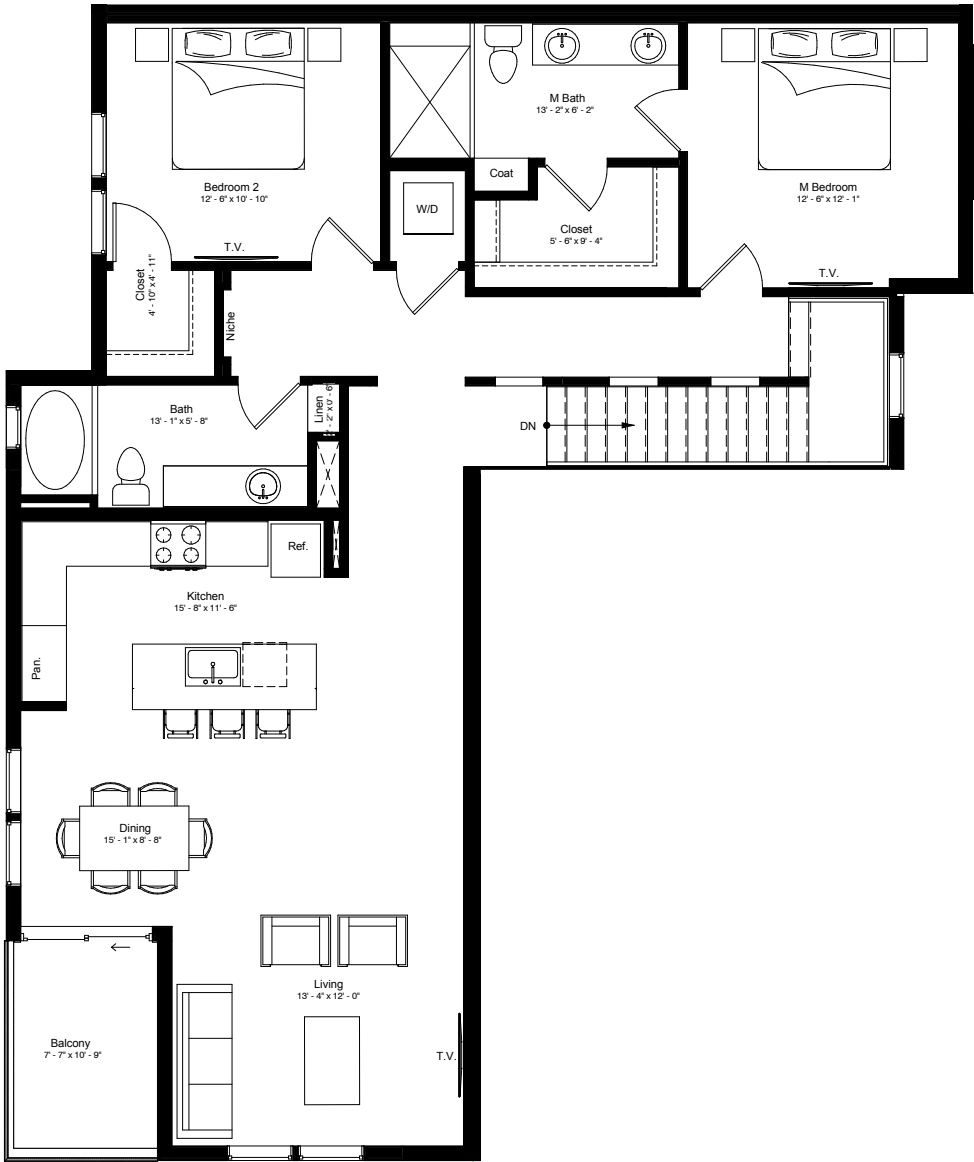
Floor Plans  
Unit C

#	Date	Description
Revisions		
5/21/14		
Date		
Author		
Designed By		
Author		
Drawn By		
Author		
Checked By		
Proj. # 17174		
Project Number		

DR8.5

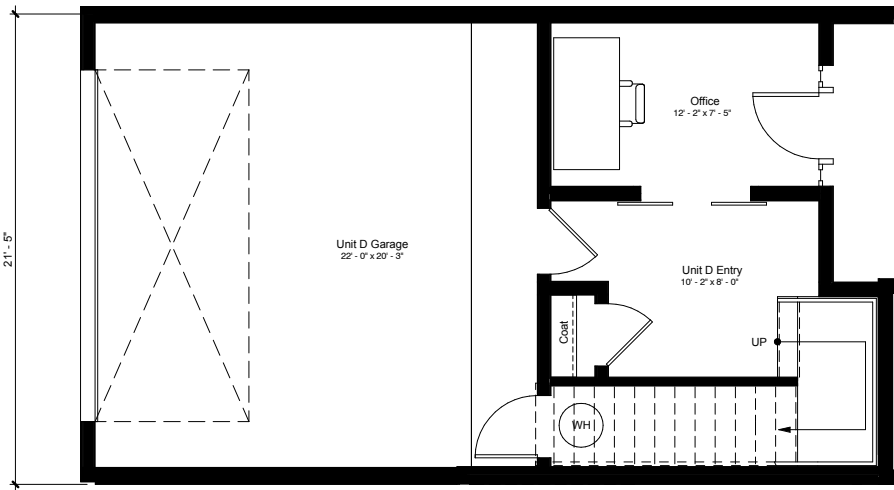
Sheet Number  
Copyright 2013 ©  
If this drawing is less than 24" x 36", it has been reduced. Scale accordingly.

Revit File C:\Users\scottg\Documents\17174\_SennaPI\_Concept Model\_RAC v14\_scttg.rvt Plot Date: 5/22/2014 2:00:43 PM



Unit D - Second Floor Plan

SCALE: 1/4" = 1'-0"



Unit D - First Floor Plan

SCALE: 1/4" = 1'-0"

SQUARE FOOTAGE TABLE	
GROSS FLOOR AREA	2,284 SF
GROSS LEASABLE AREA	1,549 SF

NOTE:  
REFER TO SHEET DR8.2 FOR LOCATION WITHING BUILDING



HanmiGlobal Partner  
Otak Architects, Inc  
51 W 3rd Street, Suite 201  
Tempe, AZ 85281  
Phone 480.557.6670  
Fax 480.557.6506

Senna at  
SanTan Village  
Phase I

Gilbert, Arizona



2487 S. Gilbert Road  
STE106-210  
Gilbert, AZ 85295

Floor Plans  
Unit D

#	Date	Description
Revisions		
5/22/14		
Date		
Author		
Designed By		
Author		
Drawn By		
Author		
Checked By		
Proj. # 17174		
Project Number		

DR8.6

Sheet Number  
Copyright 2013 ©  
If this drawing is less than 24" x 36", it has  
been reduced. Scale accordingly.

SQUARE FOOTAGE TABLE	
GROSS FLOOR AREA	2,417 SF
GROSS LEASABLE AREA	1,700 SF
NET LEASABLE AREA	1,575 SF



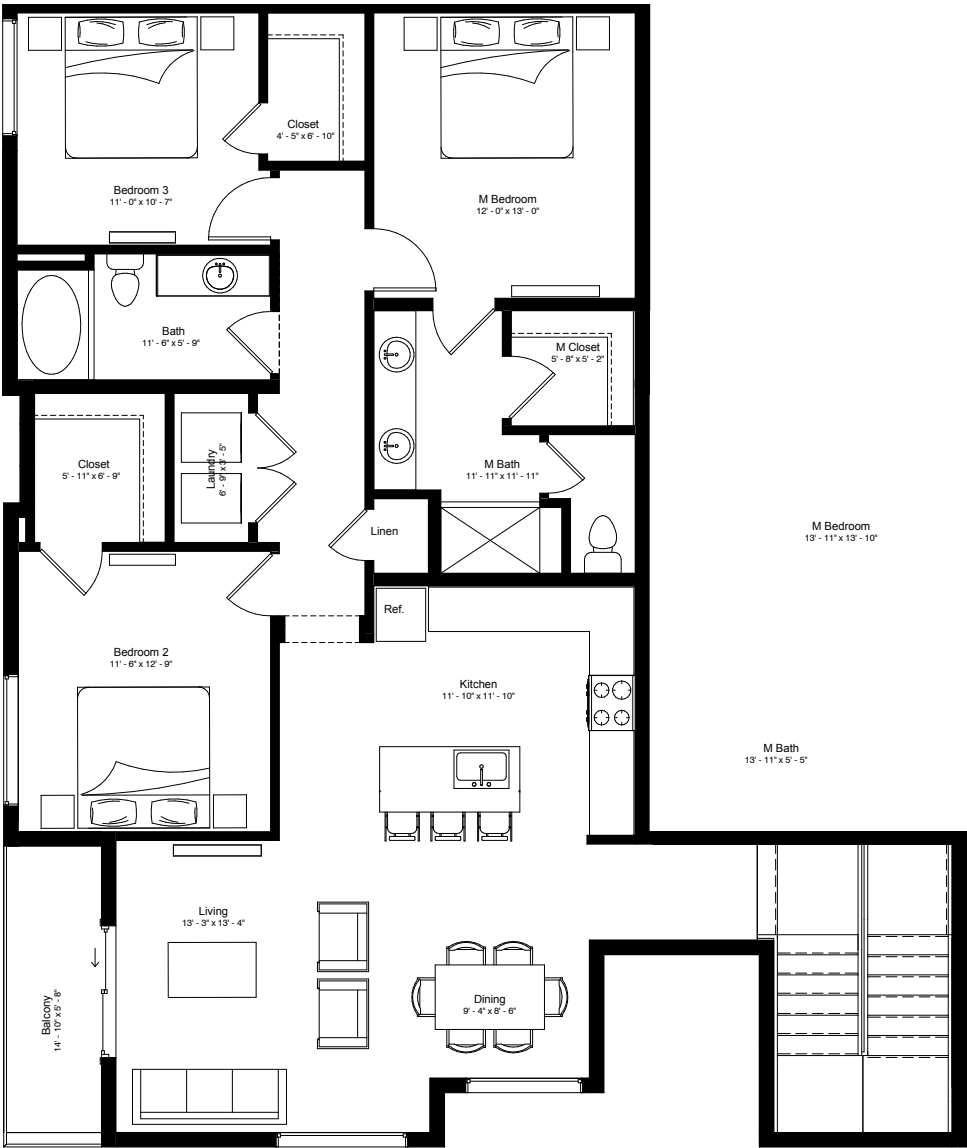
HanmiGlobal Partner  
Otak Architects, Inc  
51 W 3rd Street, Suite 201  
Tempe, AZ 85281  
Phone 480.557.6670  
Fax 480.557.6506

Senna at  
SanTan Village  
Phase I

Enter address here

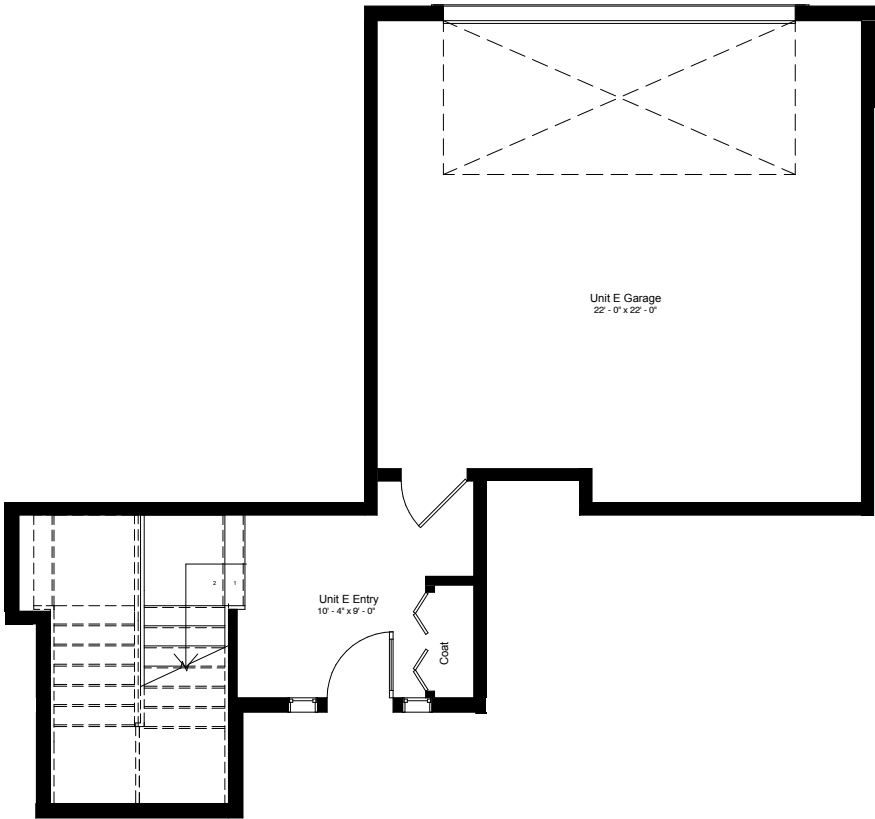


2487 S. Gilbert Road  
STE106-210  
Gilbert, AZ 85295



Unit E Second Floor Plan

SCALE: 1/4" = 1'-0"



Unit E First Floor Plan

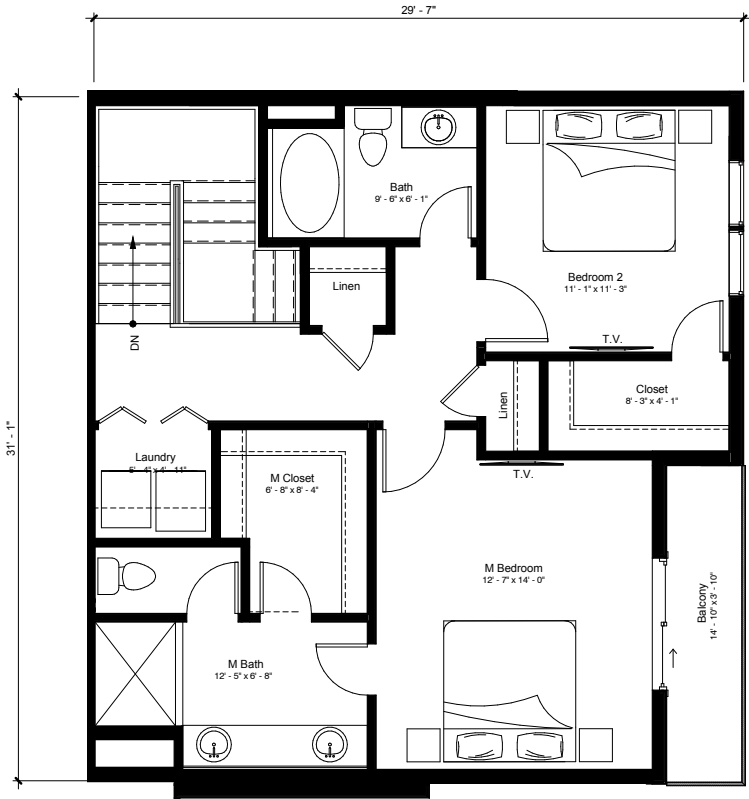
SCALE: 1/4" = 1'-0"

Floor Plans  
Unit E

#	Date	Description
Revisions		
5/21/14		
Date		
Author		
Designed By		
Author		
Drawn By		
Author		
Checked By		
Proj. # 17174		
Project Number		

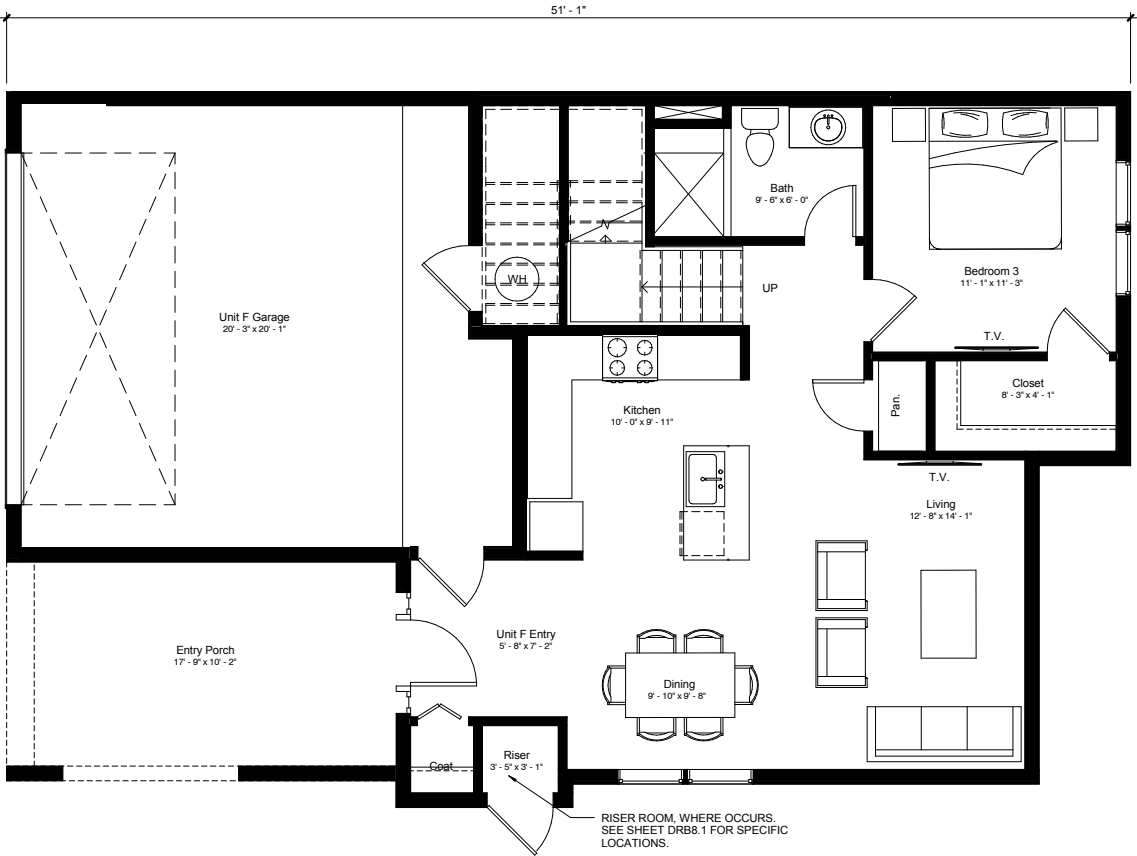
DR8.7  
Sheet Number  
Copyright 2013 ©  
If this drawing is less than 24" x 36", it has  
been reduced. Scale accordingly.

Revit File: C:\Users\scottg\Documents\17174\_SennaP1\_Concept Model\_RAC v14\_sctg.rvt Plot Date: 5/22/2014 2:00:43 PM



Unit F - Second Floor Plan

SCALE: 1/4" = 1'-0"



Unit F - First Floor Plan

SCALE: 1/4" = 1'-0"

SQUARE FOOTAGE TABLE	
GROSS FLOOR AREA	2,505 SF
GROSS LEASABLE AREA	1,619 SF

NOTE:  
REFER TO SHEET DR8.2 FOR LOCATION WITHING BUILDING



HanmiGlobal Partner  
Otak Architects, Inc  
51 W 3rd Street, Suite 201  
Tempe, AZ 85281  
Phone 480.557.6670  
Fax 480.557.6506

Senna at  
SanTan Village  
Phase I

Gilbert, Arizona



2487 S. Gilbert Road  
STE106-210  
Gilbert, AZ 85295

Floor Plans  
Unit F

#	Date	Description
Revisions		
	5/22/14	
Date		
Author		
Designed By		
Author		
Drawn By		
Author		
Checked By		
Proj. # 17174		
Project Number		

DR8.8

Sheet Number  
Copyright 2013 ©  
If this drawing is less than 24" x 36", it has  
been reduced. Scale accordingly.



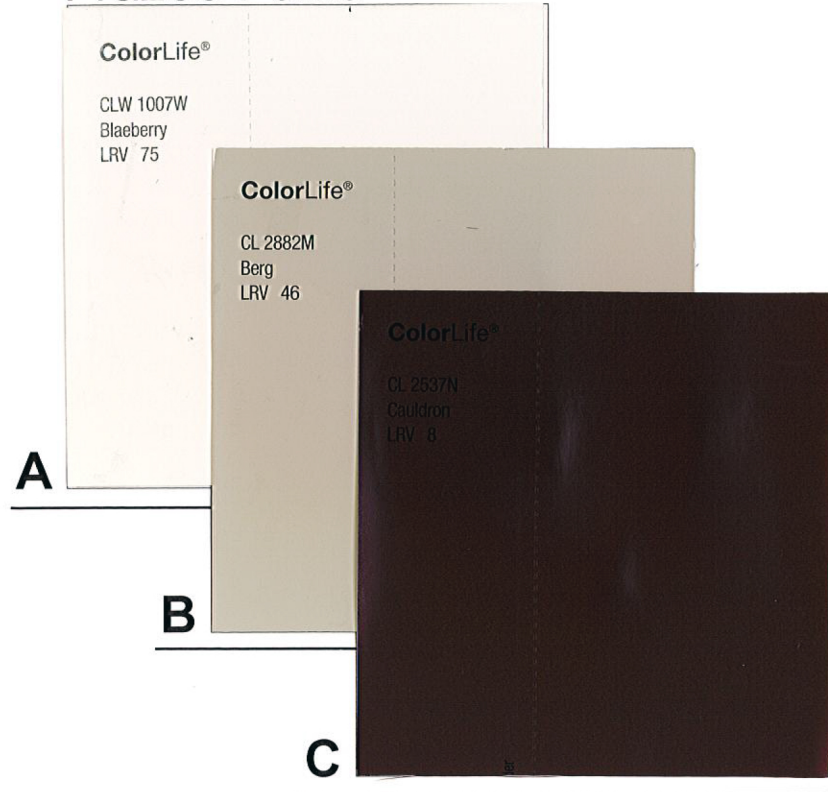
# Material Board

Senna at SanTan Village Phase I&2 Gilbert, Arizona



## Option 1

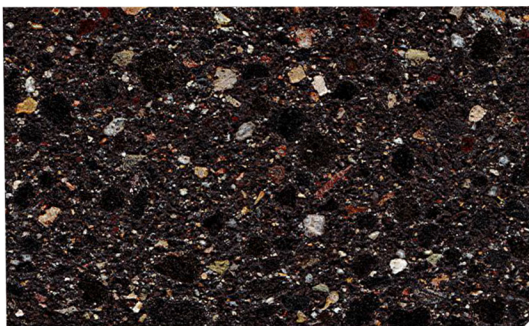
Frazee Paint:



## Trendstone:

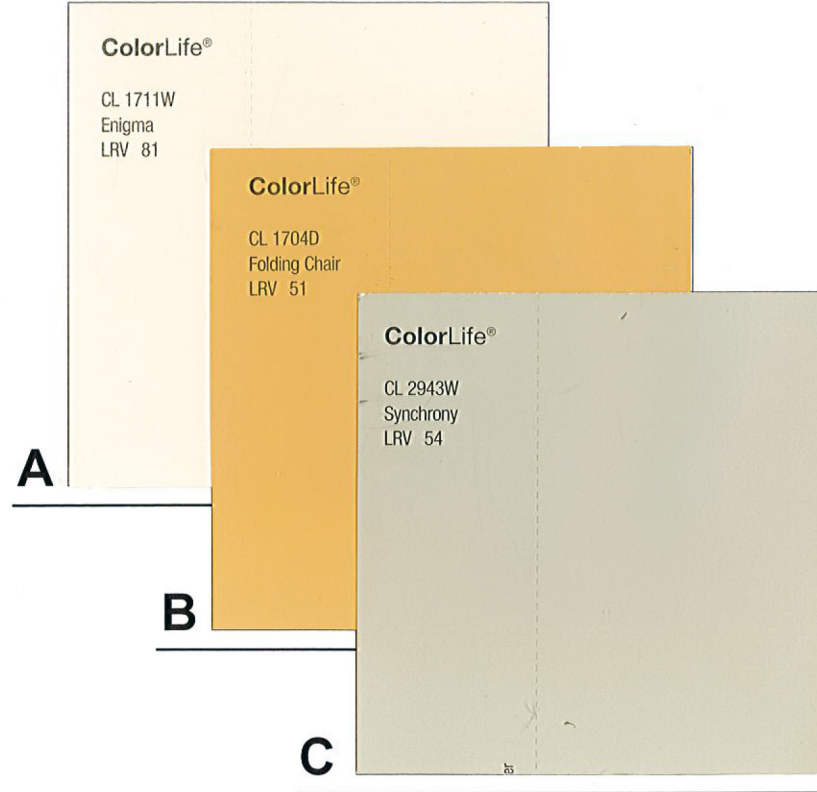
Ground face masonry units

Color: *Opal*



## Option 2

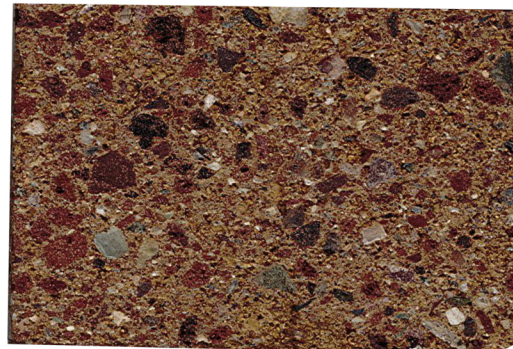
Frazee Paint:



## Trendstone:

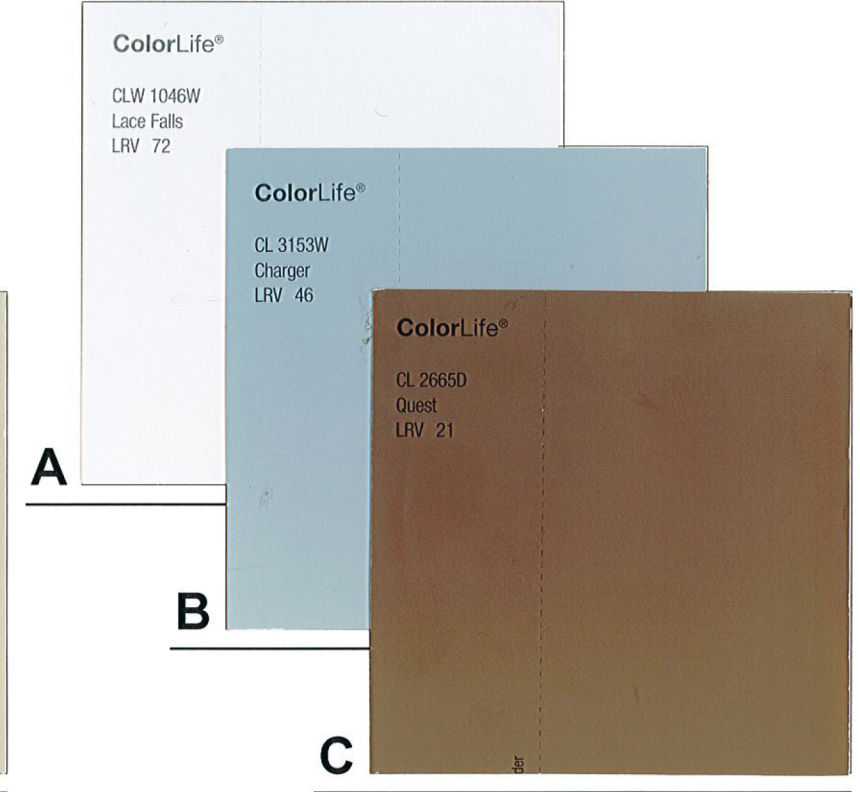
Ground face masonry units

Color: *Desert Yellow*



## Option 3

Frazee Paint:



## Trendstone:

Ground face masonry units

Color: *Rutherford Gray*



# Material Board

Senna at SanTan Village Phase I&2 Gilbert, Arizona

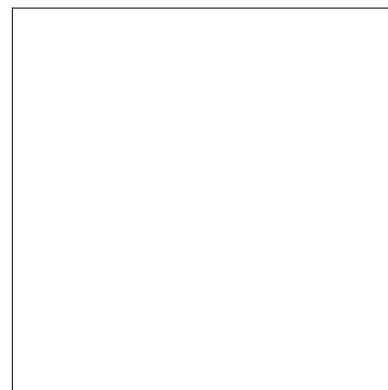


## Doors

Jeld-Wen:  
V-4500 or equal

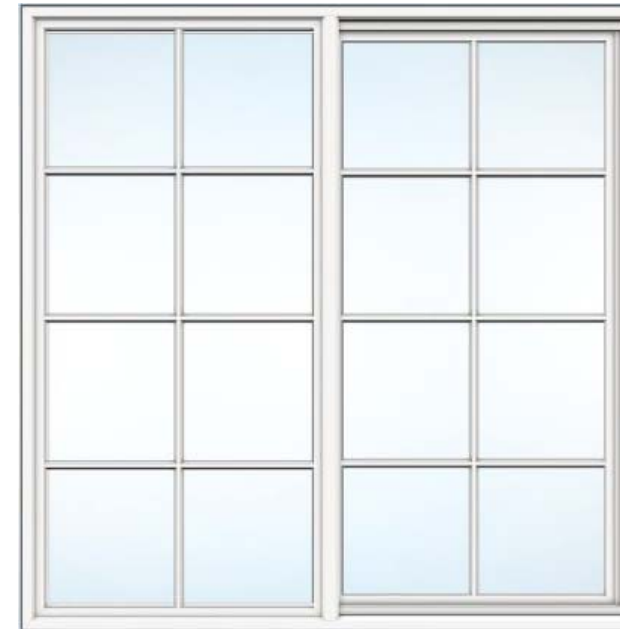


Color:  
*Arctic White*



## Windows

Jeld-Wen:  
V-4500 or equivalent



Color:  
*Arctic White*

